

## **Report to the Manitowoc Plan Commission**

**Meeting Date:** February 26, 2025

**Request:** PC 10-2025 City of Manitowoc / Tycore: Preliminary Subdivision Plat, Public Improvements and Certified Survey Map. Former Mall Properties / Mariner Lux Subdivision (Parcel #'s 330-008-152, 520-031-070 & 520-017-010)

**Report:** The City of Manitowoc is the current owner of the property and is working with Tycore Built a.k.a Realtyhive on the redevelopment of the former mall properties located at 828 Memorial Drive and 700 E. Magnolia Avenue.

The City will be subdividing the lot north of Magnolia Avenue and west of Holly Drive with a subdivision plat. There will be 41 single & two family residential lots created. Fern Drive will extend through the development and connect with E. Magnolia Avenue; Galax Court will be a new cul de sac off of E. Magnolia Avenue.

The property south of Magnolia Ave will be subdivided using a certified survey map. 3 lots and 1 outlot will be created. A stormwater pond will be located on the outlot; apartments will be located on the interior lot and commercial or office uses will be located onto the 2 lots that abut Memorial Drive.

The preliminary subdivision plat and certified survey map are currently out for review by all the reviewing entities (City Departments, County, and Utilities).

**Recommendation:** Approve the preliminary plat and certified survey subject to the conditions of the reviewing entities.



- A PRELIMINARY PLAT OF -  
**MARINER LUX SUBDIVISION PLAT**

A PARCEL OF LAND LYING IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION SIXTEEN (16) AND ALSO THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION SIXTEEN (16), ALL IN TOWNSHIP NINETEEN (19) NORTH, RANGE TWENTY-FOUR (24) EAST, BEING PART OF BLOCKS SIX (6), SEVEN (7), AND EIGHT (8) ACCORDING TO THE RECORDED PLAT OF HARBOR VIEW ADDITION, IN THE CITY OF MANITOWOC, AND PART OF LOT THIRTY-ONE (31) ACCORDING TO THE RECORDED PLAT OF OEHLER AND GUENTHER'S SUBDIVISION, IN THE CITY OF MANITOWOC, MANITOWOC COUNTY, WISCONSIN.

There are no objects to this plat with respect to  
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),  
Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_

Department of Administration



SURVEY PREPARED BY:



1077 CENTENNIAL CENTRE BLVD  
HOBART, WI 54155

- A PRELIMINARY PLAT OF -  
**MARINER LUX SUBDIVISION PLAT**  
TYCORE BUILT

SURVEY PREPARED FOR:



TYCORE BUILT  
445 CARDINAL LN, STE. 102  
GREEN BAY, WI 54313

DRAWN BY:

SMR

CHECKED BY:

JRC

JT NUMBER:

240134

DATE:

FEBRUARY 14, 2025

SHEET:

1 OF 2

**SURVEYOR'S CERTIFICATE**

I, JAMES R. CAPPEART, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT IN FULL COMPLIANCE WITH THE PROVISIONS OF CHAPTER 236, WISCONSIN STATUTES, AND THE SUBDIVISION REGULATIONS OF THE CITY OF MANITOWOC AND THE MANITOWOC COUNTY PLANNING COMMISSION AND UNDER THE DIRECTION OF THE OWNERS LISTED HEREON, I HAVE SURVEYED, DIVIDED AND MAPPED "MARINER LUX SUBDIVISION PLAT", AND THAT SUCH PLAT CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES AND THE SUBDIVISION OF THE LAND SURVEYED LYING IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION SIXTEEN (16) AND ALSO THE NORTHWEST 1/4 OF THE SOUTHWEST SW 1/4 OF SECTION SIXTEEN (16), ALL IN TOWNSHIP NINETEEN (19) NORTH, RANGE TWENTY-FOUR (24) EAST, BEING PART OF BLOCKS SIX (6), SEVEN (7), AND EIGHT (8) ACCORDING TO THE RECORDED PLAT OF HARBOR VIEW ADDITION, IN THE CITY OF MANITOWOC, AND PART OF LOT THIRTY-ONE (31) ACCORDING TO THE RECORDED PLAT OF OEHLER AND GUENTHER'S SUBDIVISION, IN THE CITY OF MANITOWOC, MANITOWOC COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SECTION 16, T19N-R24E;  
THENCE N0° 53' 44"W ALONG THE WEST LINE OF SAID SECTION 16, 39.91 FEET;  
THENCE N89° 59' 09"E, 40.15 FEET TO THE EAST RIGHT OF WAY LINE OF JOHNSTON DRIVE AT ITS INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF EAST MAGNOLIA AVENUE AND THE POINT OF BEGINNING;  
THENCE N0° 51' 19"W ALONG SAID EAST RIGHT OF WAY LINE, 430.00 FEET;  
THENCE S89° 55' 50"E, 1000.00 FEET TO THE WEST RIGHT OF WAY LINE OF HOLLY DRIVE;  
THENCE S0° 51' 54"E ALONG SAID WEST RIGHT OF WAY LINE, 420.67 FEET;  
THENCE SOUTHWESTERLY ALONG SAID WEST RIGHT OF WAY LINE, 369.35 FEET ALONG THE ARC OF A 462.50 FOOT RADIUS CURVE TO THE RIGHT, WITH A CHORD WHICH BEARS S22° 00' 46"W, 359.61 FEET TO THE NORTH RIGHT OF WAY LINE OF EAST MAGNOLIA AVENUE;  
THENCE N45° 10' 50"W ALONG SAID NORTH RIGHT OF WAY LINE, 107.12 FEET;  
THENCE NORTHWESTERLY ALONG SAID NORTH RIGHT OF WAY LINE, 670.53 FEET ALONG THE ARC OF A 858.52 FOOT RADIUS CURVE TO THE LEFT, WITH A CHORD WHICH BEARS N67° 33' 19"W, 653.62 FEET;  
THENCE N89° 55' 49"W ALONG SAID NORTH RIGHT OF WAY LINE, 185.06 FEET TO THE POINT OF BEGINNING.

THIS PARCEL CONTAINS 528,512 SQUARE FEET / 12.13 ACRES, MORE OR LESS.  
ROAD DEDICATIONS CONTAINS 59,527 SQUARE FEET / 1.37 ACRES, MORE OR LESS.  
PARCELS ARE SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

JAMES R. CAPPEART, PLS S-3044

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

**LEGEND**

- |            |  |
|------------|--|
| V.         | VOLUME   |
| P.         | PAGE   |
| DOC.       | DOCUMENT   |
| (D.T.T.P.) | DEDICATED TO THE PUBLIC  |
| R/W        | RIGHT-OF-WAY   |
| ○          | 1.32-INCH (DIAMETER) x 18-INCH (LENGTH) IRON PIPE WITH CAP (WEIGHT 1.13 POUNDS PER LINEAL FOOT)                    |
| ●          | EXISTING 3/4-INCH PIPE   |
| ●          | EXISTING 3/4-INCH REBAR  |
| ●          | EXISTING 1-INCH IRON PIPE  |
| ●          | EXISTING 2-INCH IRON PIPE  |
| ⊕          | SECTION CORNER (AS NOTED)  |
| •          | ALL OTHER LOT CORNERS ARE MARKED WITH A 1.32" (O.D.) x 18" IRON PIPE WITH CAP WEIGHING 1.13 POUNDS PER LINEAL FOOT |
| •          | DISTANCES ON CURVES ARE ARC LENGTHS  |
| •          | DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT  |
| ---        | EXISTING ROAD RIGHT-OF-WAY   |
| ---        | SUBJECT PARCEL BOUNDARY  |
| ---        | PROPERTY LINE  |
| ---        | SECTION QUARTER LINE   |
| ---        | SECTION LINE   |
| ---        | PROPOSED UTILITY EASEMENT (AS DESCRIBED)   |
| ---        | 12" (OR AS DIMENSIONED)  |

**DEVELOPER**  
TYCORE BUILT, LLC  
PH. (920) 617.9155  
445 CARDINAL LN STE 102  
GREEN BAY, WI 54313

**APPROVING/OBJECTING AGENCIES**  
CITY OF MANITOWOC  
COUNTY OF MANITOWOC  
DEPARTMENT OF ADMINISTRATION

\* STEINBRECHER & MENEAU INC. ALTA JUNE 2007  
\*\* CORNER POINT PLAT OF SURVEY AUGUST 2024

**LOCATION MAP**  
AREA LOCATED IN THE SW-NW AND NW-SW  
SECTION 16, T19N, R24E  
CITY OF MANITOWOC  
MANITOWOC COUNTY, WI



0 25 50 100 150 200  
SCALE 1" = 50' AT FULL SIZE (22"x30")

THIS MAP IS BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM (WISCRS, MANITOWOC COUNTY), WITH THE WEST LINE OF THE NORTHWEST QUARTER MEASURED TO BEAR N0°53'44"W



- A PRELIMINARY PLAT OF -  
**MARINER LUX SUBDIVISION PLAT**

A PARCEL OF LAND LYING IN THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION SIXTEEN (16) AND ALSO THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION SIXTEEN (16), ALL IN TOWNSHIP NINETEEN (19) NORTH, RANGE TWENTY-FOUR (24) EAST, BEING PART OF BLOCKS SIX (6), SEVEN (7), AND EIGHT (8) ACCORDING TO THE RECORDED PLAT OF HARBOR VIEW ADDITION, IN THE CITY OF MANITOWOC, AND PART OF LOT THIRTY-ONE (31) ACCORDING TO THE RECORDED PLAT OF OEHLER AND GUENTHER'S SUBDIVISION, IN THE CITY OF MANITOWOC, MANITOWOC COUNTY, WISCONSIN.

There are no objects to this plat with respect to  
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),  
Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20

Department of Administration



CURVE TABLE					
CURVE NO.	CENTRAL ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	45° 45' 20" 45° 44' 29" * 45° 45' 03" **	462.50'	369.35' 369.23' * 369.31' **	359.61' 359.49' * 359.57' **	S22° 00' 46"W S22° 53' 12"W * S22° 00' 39"W **
C2	44° 44' 59" 44° 42' 59" * 44° 42' 59" **	858.52'	670.53' 670.03' * 670.60' **	653.62' 653.16' * 653.16' **	N67° 33' 19"W N67° 32' 20"W * N67° 33' 19"W **
C3	30° 00' 48"	233.00'	122.05'	120.66'	N14° 07' 39"E
C4	49° 40' 47"	11.00'	9.54'	9.24'	N23° 57' 39"E
C5	279° 21' 35"	57.00'	277.92'	73.77'	S89° 07' 16"W
C6	49° 40' 47"	11.00'	9.54'	9.24'	S25° 43' 08"E
C7	30° 00' 48"	167.00'	87.48'	86.48'	S14° 07' 39"W
C8	06° 02' 06"	462.50'	48.72'	48.69'	S02° 09' 09"W
C9	02° 09' 49"	462.50'	17.47'	17.46'	S06° 15' 06"W
C10	11° 50' 19"	462.50'	95.58'	95.39'	S13° 15' 11"W
C11	13° 02' 07"	462.50'	105.22'	105.00'	S25° 41' 24"W
C12	12° 40' 58"	462.50'	102.38'	102.17'	S38° 32' 57"W
C13	3° 23' 33"	858.52'	50.84'	50.83'	N46° 52' 36"W
C14	10° 16' 34"	858.52'	153.98'	153.77'	N53° 42' 40"W
C15	11° 19' 58"	233.00'	46.09'	46.01'	N23° 28' 04"E
C16	18° 40' 50"	233.00'	75.97'	75.63'	N08° 27' 41"E
C17	47° 00' 47"	57.00'	46.77'	45.47'	N25° 17' 39"E
C18	46° 20' 00"	57.00'	46.09'	44.85'	N21° 22' 44"W
C19	46° 20' 00"	57.00'	46.09'	44.85'	N67° 42' 44"W
C20	46° 20' 00"	57.00'	46.09'	44.85'	S65° 57' 16"W
C21	46° 20' 00"	57.00'	46.09'	44.85'	S19° 37' 16"W
C22	47° 00' 47"	57.00'	46.77'	45.47'	S27° 03' 08"E
C23	6° 26' 47"	858.52'	96.59'	96.54'	N68° 28' 41"W
C24	2° 40' 39"	858.52'	41.12'	41.12'	N71° 04' 24"W
C25	6° 29' 30"	858.52'	97.27'	97.22'	N75° 41' 29"W
C26	6° 31' 57"	858.52'	97.88'	97.83'	N86° 39' 50"W
C27	4° 24' 21"	858.52'	66.02'	66.00'	N61° 03' 08"W
C28	4° 27' 38"	858.52'	66.84'	66.82'	N81° 10' 03"W

**OWNER'S CERTIFICATE**

AS OWNER, I HEREBY CERTIFY THAT I CAUSED THE LAND DESCRIBED ON "MARINER LUX SUBDIVISION" TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED HEREON. I ALSO CERTIFY THAT THIS PLAT IS REQUIRED BY S236.10 OR S236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

CITY OF MANITOWOC, COUNTY OF MANITOWOC, AND THE DEPARTMENT OF ADMINISTRATION

TYCORE BUILT, LLC  
WADE T. MICOLEY - PRESIDENT

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ THE ABOVE NAMED OWNER, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

\_\_\_\_\_, COUNTY, \_\_\_\_\_

STATE OF WISCONSIN ]  
COUNTY OF \_\_\_\_\_ ] SS

**CITY OF MANITOWOC PLANNING COMMISSION**

APPROVED FOR THE CITY OF MANITOWOC PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PAUL BRAUN  
CITY PLANNER

**CITY OF MANITOWOC TREASURER'S CERTIFICATE**

A PLAT KNOWN AS "MARINER LUX SUBDIVISION" WHICH HAS BEEN DULY FILED FOR APPROVAL OF THE CITY OF MANITOWOC, MANITOWOC COUNTY, WISCONSIN, AND IS HEREBY APPROVED AS REQUIRED BY CHAPTER 236, WISCONSIN STATUTES. APPROVED FOR THE CITY OF MANITOWOC PLANNING BOARD ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

MACKENZIE REED  
CITY CLERK / DEPUTY TREASURER

**MANITOWOC COUNTY TREASURER'S CERTIFICATE**

AS APPOINTED MANITOWOC COUNTY TREASURER, I HEREBY CERTIFY THAT THE RECORDS IN OUR OFFICE SHOW NO UNREDEEMED TAXES AND NO UNPAID OR SPECIAL ASSESSMENT'S AFFECTING ANY OF THE LANDS INCLUDED IN THIS PLAT AS OF THE DATE LISTED BELOW.

KATHY REISSMANN  
MANITOWOC COUNTY TREASURY - DEPARTMENT DIRECTOR

DATE \_\_\_\_\_

**NOTES:**

**12' PUBLIC UTILITY EASEMENT**

A NON-EXCLUSIVE EASEMENT GRANTED TO PUBLIC UTILITIES INCLUDING BUT NOT LIMITED TO ELECTRIC, NATURAL GAS, COMMUNICATIONS, WATER DISTRIBUTION, SEWER COLLECTION, DRAINAGE, ETC., IS HEREBY GRANTED BY

TYCORE BUILT, LLC, GRANTOR.

GRANTED TO THE CITY OF MANITOWOC, GRANTEE.  
AND TO THEIR RESPECTIVE HEIRS, AGENTS, AND ASSIGNS.

TO CONSTRUCT, INSTALL, OPERATE, REPAIR, MAINTAIN, AND REPLACE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH UNDERGROUND PUBLIC UTILITIES FOR SUCH PURPOSES AS IS THE SAME IS NOW OR MAY HEREAFTER BE USED; ALL IN, UNDER, ACROSS, ALONG, AND UPON THE PROPERTY SHOWN WITHIN THOSE AREAS DESIGNATED ON THE PLAT, TOGETHER WITH THE RIGHT TO INSTALL SERVICE CONNECTIONS UPON, ACROSS, WITHIN, AND BENEATH THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS, THEREON, OR ON ADJACENT LOTS.

ALSO THE RIGHT TO TRIM OR CUT DOWN TREES, BRUSH, AND/OR ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. THE GRANTEEES AGREE TO RESTORE OR CAUSE TO HAVE RESTORED, THE PROPERTY, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO SUCH ENTRY BY THE GRANTEEES OR THEIR AGENTS.

THE GRANT OF EASEMENT SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE HEIRS, SUCCESSORS, AND ASSIGNS OF ALL PARTIES HERETO.

**WATER AND SANITARY UTILITY EASEMENT**

AN EXCLUSIVE EASEMENT GRANTED TO THE CITY OF MANITOWOC, MANITOWOC, WISCONSIN (GRANTEE) AND ITS SUCCESSORS AND ASSIGNS, A PERPETUAL EASEMENT OVER, UNDER AND THROUGH THE PROPERTY, BY THE UNDER SIGNED OWNERS OF THE PROPERTY AND GRANTORS HEREIN:

THIS PERPETUAL DEED OF EASEMENT, WHICH SHALL RUN WITH THE LAND, IS GRANTED UPON THE FOLLOWING CONDITIONS:

- TO CONSTRUCT, INSTALL, OPERATE, REPAIR, MAINTAIN, AND REPLACE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH UNDERGROUND PUBLIC UTILITIES FOR SUCH PURPOSES AS IS THE SAME IS NOW OR MAY HEREAFTER BE USED; ALL IN, UNDER, ACROSS, ALONG, AND UPON THE PROPERTY SHOWN WITHIN THOSE AREAS DESIGNATED ON THE PLAT, TOGETHER WITH THE RIGHT TO INSTALL SERVICE CONNECTIONS UPON, ACROSS, WITHIN, AND BENEATH THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS, THEREON, OR ON ADJACENT LOTS.
- THE GRANTORS, ITS SUCCESSORS OR ASSIGNS, SHALL HAVE THE RIGHT TO USE AND OCCUPY THE ABOVE DESCRIBED REAL ESTATE, PROVIDING THAT SUCH USE AND OCCUPATION WILL NOT IN ANY MANNER DISTURB, DAMAGE, DESTROY OR OBSTRUCT SAID PUBLIC UTILITIES. NO BUILDINGS, FENCES OR OTHER IMPROVEMENTS SHALL BE CONSTRUCTED ON OR OVER THE EASEMENT.
- THE GRANTEE SHALL HAVE THE RIGHT TO ACCESS SAID EASEMENT, AND THE RIGHT TO USE SAID PREMISES AND THE LAND ADJACENT THERETO FOR THE TRANSPORTATION AND LAYING DOWN OF STORAGE MATERIALS, TOOLS, AND EQUIPMENT, THE DEPOSITING AND REMOVAL OF MATERIALS, THE REMOVAL OF TREES AND OTHER VEGETATION, THE REMOVAL OF ANY ITEMS CONSTRUCTED ON OR OVER THE EASEMENT, AND FOR OTHER PURPOSES INCIDENTAL TO CONSTRUCTION AND MAINTENANCE. THE GRANTEE AGREES TO RESTORE AFTER COMPLETION OF CONSTRUCTION, MAINTENANCE, OR OTHER ACTIVITY, THE EASEMENT WITH 4" OF TOPSOIL, SEED, FERTILIZER AND MULCH, AND FURTHER PROVIDES THAT IN THE EVENT ANY DAMAGE IS CAUSED TO THE LAND OR REAL ESTATE ADJACENT TO THE EASEMENT, BY REASON OF ANY NEGLIGENCE OF THE GRANTEE IN ENTERING THEREON AND USING THE ABOVE DESCRIBED PROPERTY, SAID GRANTEE SHALL COMPENSATE THE GRANTORS FOR SUCH DAMAGE.

SURVEY PREPARED BY:



1077 CENTENNIAL CENTRE BLVD  
HOBART, WI 54155

- A PRELIMINARY PLAT OF -  
**MARINER LUX SUBDIVISION PLAT**  
TYCORE BUILT

SURVEY PREPARED FOR:



TYCORE BUILT  
445 CARDINAL LN, STE. 102  
GREEN BAY, WI 54313

DRAWN BY:  
SMR

CHECKED BY:  
JRC

JT NUMBER:  
240134

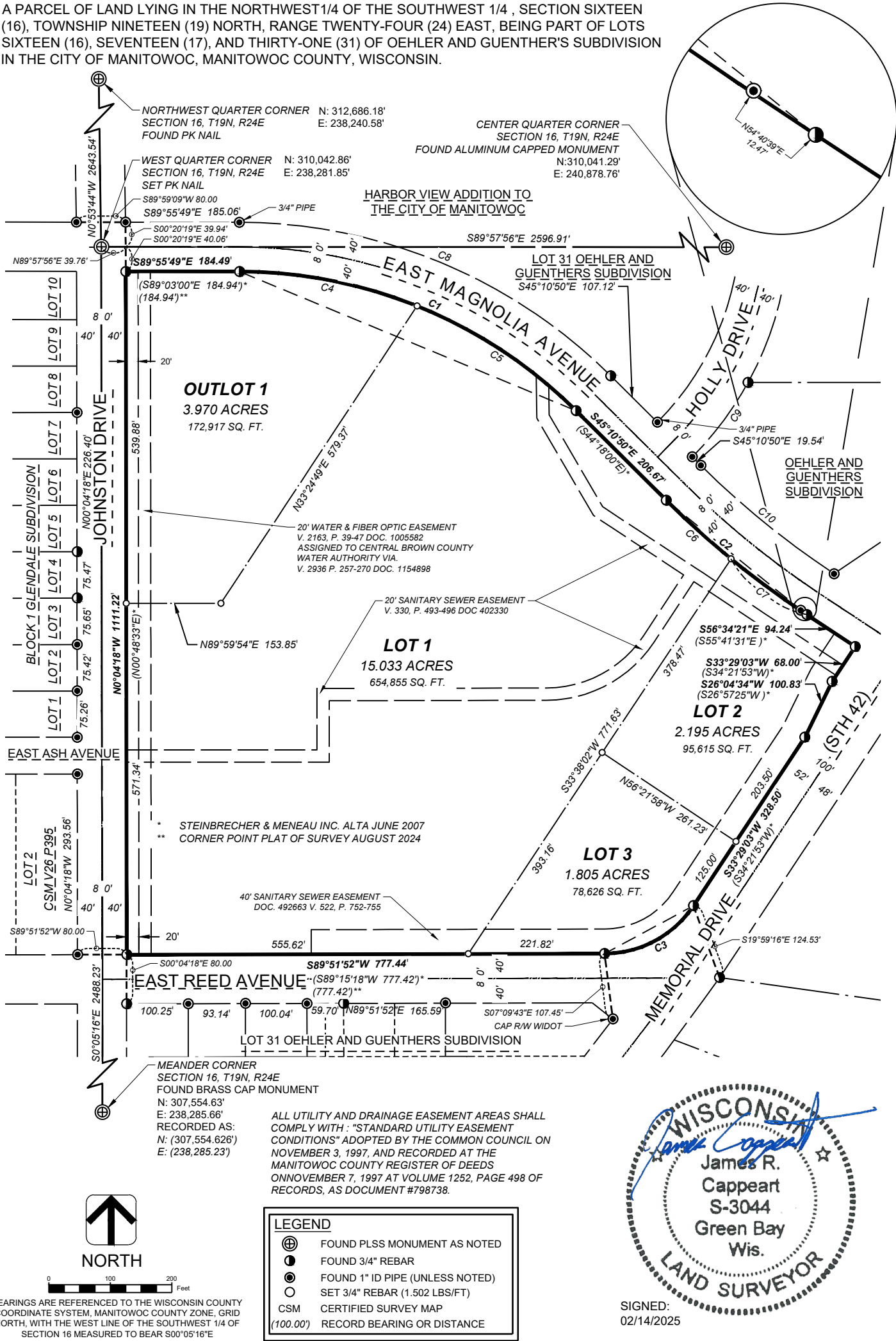
DATE:  
FEBRUARY 14, 2025

SHEET:

2 OF 2

MANITOWOC COUNTY CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A PARCEL OF LAND LYING IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION SIXTEEN (16), TOWNSHIP NINETEEN (19) NORTH, RANGE TWENTY-FOUR (24) EAST, BEING PART OF LOTS SIXTEEN (16), SEVENTEEN (17), AND THIRTY-ONE (31) OF OEHLER AND GUENTHER'S SUBDIVISION IN THE CITY OF MANITOWOC, MANITOWOC COUNTY, WISCONSIN.



281 W Netherwood Road  
Suite 1  
Oregon, WI 53575  
www.JT-Engineering.com

**SURVEY PREPARED FOR:**  
CITY OF MANITOWOC  
900 QUAY STREET  
MANITOWOC, WI 54220

**FIELD WORK DATE:** JANUARY 22, 2025  
**DRAFTED BY:** SMR  
**CHECKED BY:** JRC  
**PROJECT NO:** 240134

SHEET 1 OF 3 SHEETS

**VOL.** \_\_\_\_\_ **PAGE** \_\_\_\_\_  
**DOC. NO.** \_\_\_\_\_  
**C.S.M. NO.** \_\_\_\_\_

MANITOWOC COUNTY CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A PARCEL OF LAND LYING IN THE NORTHWEST1/4 OF THE SOUTHWEST 1/4 , SECTION SIXTEEN (16), TOWNSHIP NINETEEN (19) NORTH, RANGE TWENTY-FOUR (24) EAST, BEING PART OF LOTS SIXTEEN (16), SEVENTEEN (17), AND THIRTY-ONE (31) OF OEHLER AND GUENTHER'S SUBDIVISION IN THE CITY OF MANITOWOC, MANITOWOC COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, **JAMES R. CAPPEART**, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT BY THE ORDER OF **CITY OF MANITOWOC**, OWNER, AND IN FULL COMPLIANCE WITH THE PROVISIONS OF CHAPTER 236.34, WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE CITY OF MANITOWOC, I HAVE SURVEYED, MONUMENTED, MAPPED AND DIVIDED THIS PROPERTY AND THAT SUCH CERTIFIED SURVEY MAP CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES AND SUBDIVISIONS OF THE LAND SURVEYED, AND IS DESCRIBED AS:

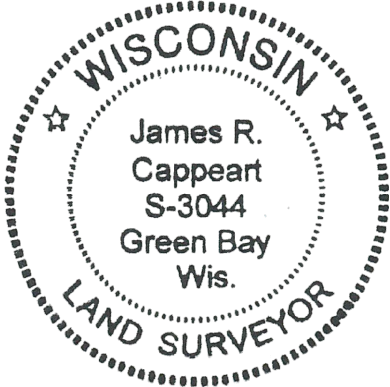
A PARCEL OF LAND LYING IN THE NORTHWEST1/4 OF THE SOUTHWEST 1/4 , SECTION SIXTEEN (16), TOWNSHIP NINETEEN (19) NORTH, RANGE TWENTY-FOUR (24) EAST, BEING PART OF LOTS SIXTEEN (16), SEVENTEEN (17), AND THIRTY-ONE (31) OF OEHLER AND GUENTHER'S SUBDIVISION IN THE CITY OF MANITOWOC, MANITOWOC COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 16;  
THENCE N89°57'56"E, 39.76 FEET ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 16;  
THENCE S00°20'19"E, 40.06 FEET TO THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF JOHNSTON DRIVE AND THE NORTH RIGHT OF WAY LINE OF MAGNOLIA DRIVE AND THE POINT OF BEGINNING;  
THENCE S89°55'49"E, 184.49 FEET ALONG SAID NORTH RIGHT OF WAY LINE;  
THENCE SOUTHEASTERLY, 608.05 FEET ALONG SAID NORTH RIGHT OF WAY LINE ON THE ARC OF A 778.52 FOOT RADIUS TANGENT CURVE TO THE RIGHT, WITH A CHORD WHICH BEARS S67°33'19"E, 592.71 FEET;  
THENCE S45°10'50"E, 206.67 FEET SAID NORTH RIGHT OF WAY LINE;  
THENCE SOUTHEASTERLY, 295.47 FEET ALONG SAID NORTH RIGHT OF WAY LINE ON THE ARC OF A 1486.06 FOOT RADIUS TANGENT CURVE TO THE LEFT, WITH A CHORD WHICH BEARS S50°52'35"E, 294.98 FEET;  
THENCE S56°34'21"E, 94.24 FEET ALONG SAID NORTH RIGHT OF WAY LINE TO THE WEST RIGHT OF WAY LINE FOR MEMORIAL DRIVE (AKA STH 42);  
THENCE S33°29'03"W, 68.00 FEET ALONG SAID WEST RIGHT OF WAY LINE;  
THENCE S26°04'34"W, 100.83 FEET ALONG SAID WEST RIGHT OF WAY LINE;  
THENCE S33°29'03"W, 328.50 FEET ALONG SAID WEST RIGHT OF WAY LINE;  
THENCE SOUTHWESTERLY, 170.94 FEET ALONG SAID WEST RIGHT OF WAY LINE ON THE ARC OF A 173.72 FOOT RADIUS TANGENT CURVE TO THE RIGHT, WITH A CHORD WHICH BEARS S61°40'28"W, 164.10 FEET TO THE POINT OF TANGENCY OF THE NORTH RIGHT OF WAY LINE OF EAST REED AVENUE;  
THENCE S89°51'52"W, 777.44 FEET ALONG SAID NORTH RIGHT OF WAY LINE OF EAST REED AVENUE TO THE EAST RIGHT OF WAY LINE OF JOHNSTON DRIVE;  
THENCE N00°04'18"W, 1111.22 FEET ALONG SAID EAST RIGHT OF WAY LINE OF JOHNSTON DRIVE TO THE POINT OF BEGINNING.

THE PARCEL BEING DESCRIBED WITH THIS CERTIFIED SURVEY MAP CONTAINS 1,002,013 SQUARE FEET OR 23.003 ACRES AND IS SUBJECT TO ANY AND ALL EASEMENTS OR AGREEMENTS, RECORDED OR UNRECORDED.



**JAMES R. CAPPEART**  
PROFESSIONAL LAND SURVEYOR, NO. S-3044  
DATED FEBRUARY 14, 2025  
FILE NO. 240134



CURVE TABLE					
CURVE NO.	ARC LENGTH	RADIUS	CENTRAL ANGLE	CHORD BEARING	CHORD LENGTH
C1	608.05' (607.60') * (607.60') **	778.52'	44° 44' 59" (44° 42' 59") * (44° 42' 59") **	S67° 33' 19"E (S66° 39' 30"E) * (S67° 32' 20"E) **	592.71' (592.29') * (592.29') **
C2	295.47'	1486.06'	11° 23' 31" (11° 23' 30") *	S50° 52' 35"E (S50° 52' 36"E) * (S49° 49' 45"E) **	294.98'
C3	170.94'	173.72'	56° 22' 49"	S61° 40' 28"W (S62° 35' 17"W) * (S61° 40' 27"W) **	164.10' (164.13') * (164.13') **
C4	296.25'	778.52'	21° 48' 10"	S79° 01' 44"E	294.47'
C5	311.80'	778.52'	22° 56' 49"	S56° 39' 14"E	309.72'
C6	142.21'	1486.06'	5° 28' 58"	S47° 55' 19"E	142.15'
C7	153.26'	1486.06'	5° 54' 33"	S53° 37' 04"E	153.19'
C8	670.53	858.52'	45° 15' 01"	S67° 33' 19"E	653.62'
C9	151.81'	542.50'	16° 02' 02"	N36° 51' 48"E	151.32'
C10	279.56'	1406.06'	11° 23' 30"	S50° 52' 35"E	279.10'



281 W Netherwood Road  
Suite 1  
Oregon, WI 53575  
www.JT-Engineering.com

SURVEY PREPARED FOR:  
CITY OF MANITOWOC  
900 QUAY STREET  
MANITOWOC, WI 54220

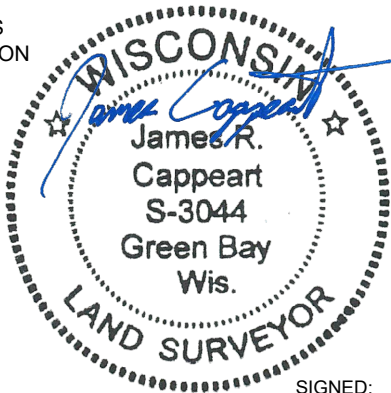
FIELD WORK DATE: JANUARY 22, 2025  
DRAFTED BY: SMR  
CHECKED BY: JRC  
PROJECT NO: 240134

VOL. \_\_\_\_\_ PAGE \_\_\_\_\_  
DOC. NO. \_\_\_\_\_  
C.S.M. NO. \_\_\_\_\_



MANITOWOC COUNTY CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A PARCEL OF LAND LYING IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 , SECTION SIXTEEN (16), TOWNSHIP NINETEEN (19) NORTH, RANGE TWENTY-FOUR (24) EAST, BEING PART OF LOTS SIXTEEN (16), SEVENTEEN (17), AND THIRTY-ONE (31) OF OEHLER AND GUENTHER'S SUBDIVISION IN THE CITY OF MANITOWOC, MANITOWOC COUNTY, WISCONSIN.



SIGNED:  
02/14/2025

CITY OF MANITOWOC  
MANITOWOC COUNTY, WISCONSIN

APPROVED FOR RECORDING PER THE SECRETARY OF THE CITY OF MANITOWOC PLAN COMMISSION.

BY: \_\_\_\_\_ FOR \_\_\_\_\_ DATE: \_\_\_\_\_  
PAUL BRAUN, SECRETARY OF THE PLAN COMMISSION

BY APPROVAL OF THIS CERTIFIED SURVEY MAP, THE CITY OF MANITOWOC HEREBY RELEASES ITS RIGHT TO THE SANITARY EASEMENT AS DESCRIBED IN V. 330, P. 493-496, DOC. 402330 AND AS SHOWN ON THIS CERTIFIED SURVEY MAP.

IN WITNESS WHEREOF, THE SAID CITY OF MANITOWOC HAS CAUSED THESE PRESENTS TO BE SIGNED BY JUSTIN NICKLES, ITS MAYOR, AND MACKENZIE REED, ITS CITY CLERK, AT MANITOWOC, WISCONSIN ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

\_\_\_\_\_  
JUSTIN NICKLES, MAYOR

\_\_\_\_\_  
MACKENZIE REED, CITY CLERK

OWNERS CERTIFICATE

**CITY OF MANITOWOC**, A CORPORATION DUTY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID CORPORATION CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, COMBINED, MAPPED AND DEDICATED AS REPRESENTED ON THIS CERTIFIED SURVEY MAP. .

IN WITNESS WHEREOF SAID CITY OF MANITOWOC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY JUSTIN NICKLES, ITS MAYOR, AND COUNTERSIGNED BY MACKENZIE REED, ITS CITY CLERK, AT MANITOWOC, WISCONSIN, AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

\_\_\_\_\_  
JUSTIN NICKLES, MAYOR

\_\_\_\_\_  
MACKENZIE REED, CITY CLERK

STATE OF WISCONSIN)  
MANITOWOC COUNTY) SS

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025, JUSTIN NICKLES, MAYOR, AND MACKENZIE REED, CITY CLERK OF THE ABOVE NAMED CORPORATION, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND TO ME KNOWN TO BE SUCH PRESIDENT AND SECRETARY OF SAID CORPORATION, AND ACKNOWLEDGE THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICERS AS THE DEED OF SAID CORPORATION, BY ITS AUTHORITY.

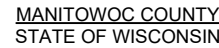
\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

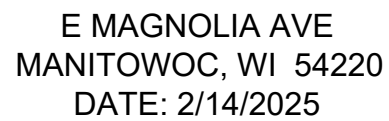
OFFICE OF THE REGISTER OF DEEDS  
MANITOWOC COUNTY, WISCONSIN

RECEIVED FOR RECORDING ON \_\_\_\_\_, 20\_\_\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_ M,  
AND RECORDED IN VOLUME \_\_\_\_\_ OF CSMS ON PAGE(S) \_\_\_\_\_, DOCUMENT NO. \_\_\_\_\_.

\_\_\_\_\_  
KRISTI TUESBURG, REGISTER OF DEEDS



MARINER LUX  
MANITOWOC, WI



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Dial **811** or (800)242-8511  
[www.DiggersHotline.com](http://www.DiggersHotline.com)

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



GREEN BAY | MADISON  
MILWAUKEE | EAU CLAIRE

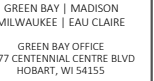
GREEN BAY OFFICE  
1077 CENTENNIAL CENTRE BLVD  
HOBART, WI 54155

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CONSTRUCTION

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HEET NUMBER:

T001



MARINER LUX

MAGNOLIA AVE  
MANITOWOC, WI

## EXISTING CONDITIONS

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CONSTRUCTION

ISSUED:  
2/14/2025

2/14/2025

OWN BY: **SMR**

VIEWED BY: **DAD**

PROJECT NUMBER:  
**240134**

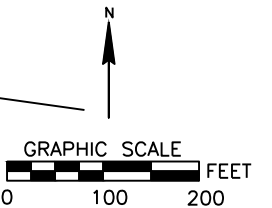
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## WELL

EXISTING MAJOR CONTOURS (5-FOOT INTERVALS)

EXISTING MINOR CONTOURS (1-FOOT INTERVALS)



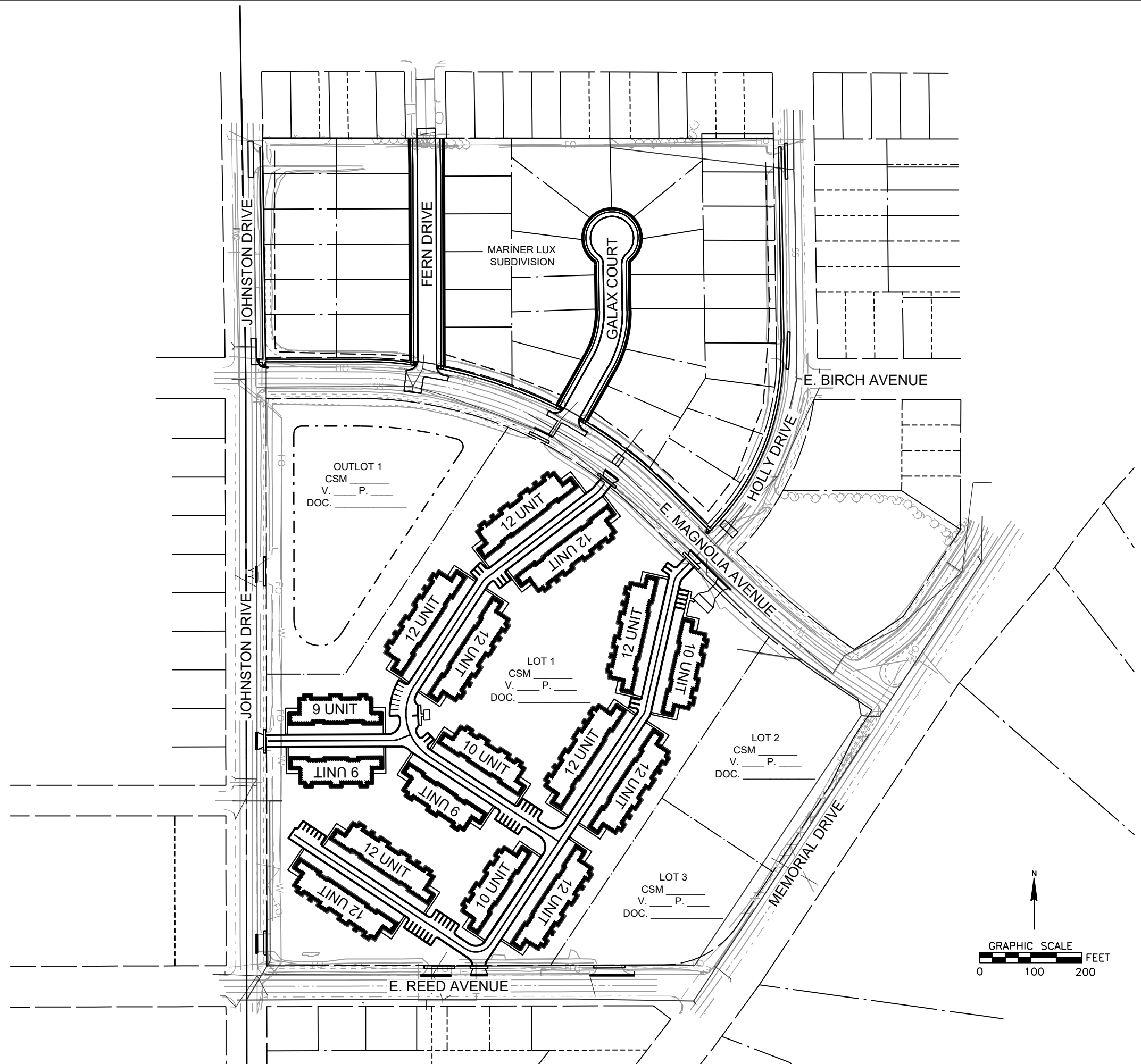
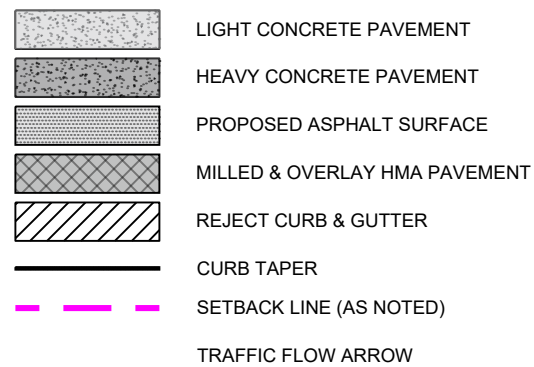


PARCEL TAX ID:

NOTES:

1. INTERIOR LOT LINES WITHIN THE PROPERTY HAVE BEEN TURNED OFF FOR CLARITY.
2. REFER TO THE EXISTING CONDITIONS PLAN (SHEET C001) FOR ADDITIONAL NOTES AND LEGENDS.
3. ALL CONSTRUCTION AND SITE WORK MUST BE PERFORMED TO THE MANITOWOC ORDINANCES AND SPECIFICATIONS.
4. A STORMWATER MANAGEMENT PLAN (SWMP) HAS BEEN DEVELOPED FOR THE PROPERTY BY JT ENGINEERING. NO BUILDING PERMIT SHALL BE ISSUED WITHOUT ACKNOWLEDGING THE PLAN AND ADHERING TO IT. THE OWNER MUST SIGN AND RECORD THE MAINTENANCE AGREEMENT PRIOR TO THE START OF CONSTRUCTION.
5. CONSTRUCTION WITHIN THE ROAD RIGHT-OF-WAY, AND ANY CONSTRUCTION IMPACTING PUBLIC UTILITIES SHALL CONFORM TO CONSTRUCTION STANDARDS OF THE MANITOWOC AS WELL AS ANY APPLICABLE STATE CODES AND STANDARDS.
6. THIS FACILITY IS A NON-SEMI-TRUCK/TRAILER PARKING, FUELING, OR STOPPING FACILITY.
7. PUBLIC ROADWAYS TO BE IMPROVED TO MEET MANITOWOC §335-50, TABLE 1 FOR MINOR STREETS. DUE TO RIGHT-OF-WAY LIMITATIONS AND THE LACK OF NEARBY SIDEWALK, IMPROVEMENTS DO NOT INCLUDE SIDEWALK OR CURB LAWN MEETING §335-50, TABLE 1.
8. STORMWATER MANAGEMENT SHALL BE AN UNDERGROUND SYSTEM. SEE SHEET C200.
9. ALL PUBLIC ROADWAYS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. WORK SHALL BE COMPLETED UTILIZING A FLAGGING OPERATION IN ACCORDANCE WITH MUTCD.

LEGEND



PROJECT:

MARINER LUX

PROJECT ADDRESS:

E MAGNOLIA AVE  
MANITOWOC, WI

# SITE PLAN OVERVIEW

REVIEW DRAWING -  
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CONSTRUCTION

DRAFT/REVISIONS:		
NO.	DATE:	DESCRIPTION:

[illegible]

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2/14/2025

AWN BY: SMR

VIEWED BY: DAD

PROJECT NUMBER:  
240134























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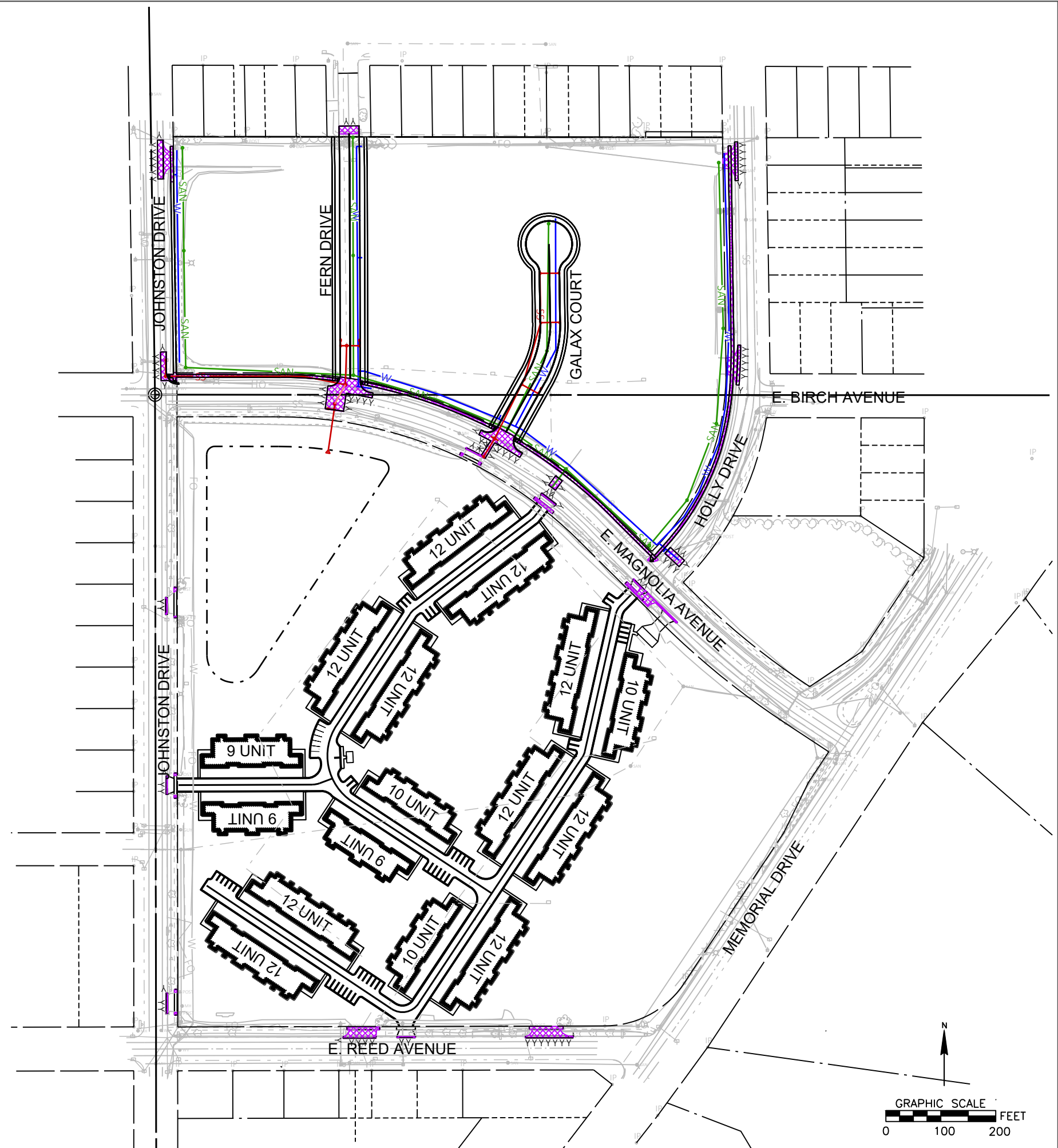
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UTILITY PLAN NOTES:

1. REFER TO THE EXISTING CONDITIONS PLAN (SHEET C001) FOR ADDITIONAL NOTES AND LEGENDS.
2. EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON DIGGERS HOTLINE UTILITY LOCATES AND FIELD MEASUREMENTS OF STRUCTURES. JT ENGINEERING DOES NOT WARRANT THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN - THE CONTRACTOR SHALL FIELD VERIFY ALL INVERTS AND MATERIALS ON THE PLAN PRIOR TO ANY UTILITY WORK.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE NO LATER THAN 3 DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES TO HAVE UTILITIES MARKED.
4. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH SPECIFICATIONS FOR SEWER AND STORM CONSTRUCTION IN THE STATE OF WISCONSIN AND PUBLIC WORKS DEPARTMENT REQUIREMENTS.
5. THE CONTRACTOR IS TO USE CAUTION WHEN DIGGING AROUND ANY UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
6. VALVES AND CASTINGS SHALL BE ADJUSTED TO MATCH ACTUAL FINISHED GRADE.
7. WATER LINES SHALL BE BURIED TO A MINIMUM DEPTH AS REQUIRED BY SPS 382.40(8)(a)1.
8. PIPE SECTIONS SHALL BE LAID TO SPECIFIC GRADE. DIRECTION OF PIPE INSTALLATION SHALL ONLY BE LAID UPGRADE.
9. ALL CONSTRUCTION AND SITE WORK MUST BE PERFORMED TO THE CITY ORDINANCES AND SPECIFICATIONS.
10. A STORMWATER MANAGEMENT PLAN (SWMP) HAS BEEN DEVELOPED FOR THE PROPERTY BY JT ENGINEERING. NO BUILDING PERMIT SHALL BE ISSUED WITHOUT ACKNOWLEDGING THE PLAN AND ADHERING TO IT. THE OWNER MUST SIGN AND RECORD THE MAINTENANCE AGREEMENT PRIOR TO THE START OF CONSTRUCTION.
11. THIS SITE IS LOCATED IN WISCONSIN FROST PROTECTION ZONE A. EXTRUDED POLYSTYRENE FOAM MUST HAVE A MINIMUM WIDTH BASED ON PIPE DEPTH FOLLOWING TABLE 382.30-7 IN THE WISCONSIN ADMINISTRATIVE CODE, CHAPTER SPS 382.
12. EXISTING SANITARY SEWER LATERAL SHALL BE TELEVIEWED AND PROVIDED TO THE CITY FOR REVIEW. ANY DEFICIENCIES WITH THIS LATERAL SHALL BE CORRECTED AS PART OF THIS PROJECT.

### LEGEND

- |   |   |
|---|---|
|   | 6-INCH PERFORATED UNDERDRAIN (PROPOSED) |
|  | UNDERGROUND STORM SEWER (PROPOSED)      |
|  | STORM CLEAN OUT (PROPOSED)              |
|  | STORM MANHOLE (PROPOSED)                |
|  | UNDER DRAIN ENDWALL (PROPOSED)          |
|  | FRENCH DRAIN (PROPOSED)                 |
|  | GAS PUMP                                |
|  | CULVERT END (EXISTING)                  |
|  | SANITARY MANHOLE (EXISTING)             |
|  | GAS METER (EXISTING)                    |
|  | HYDRANT (EXISTING)                      |
|  | WATER VALVE (EXISTING)                  |
|  | WATER VALVE SERVICE (EXISTING)          |
|  | STORM SEWER MANHOLE (EXISTING)          |
|  | ELECTRIC SERVICE (EXISTING)             |
|  | ELECTRIC PEDESTAL (EXISTING)            |
|  | UNDERGROUND FIBER OPTIC (EXISTING)      |
|  | UNDERGROUND ELECTRIC LINES (EXISTING)   |
|  | UNDERGROUND GAS (EXISTING)              |
|  | UNDERGROUND SANITARY SEWER (EXISTING)   |
|  | UNDERGROUND STORM SEWER (EXISTING)      |
|  | CULVERT PIPE (EXISTING)                 |



PROJECT:

MARINER LUX

PROJECT ADDRESS:  
E MAGNOLIA AVE  
MANITOWOC, WI

UTILITY PLAN  
OVERVIEW

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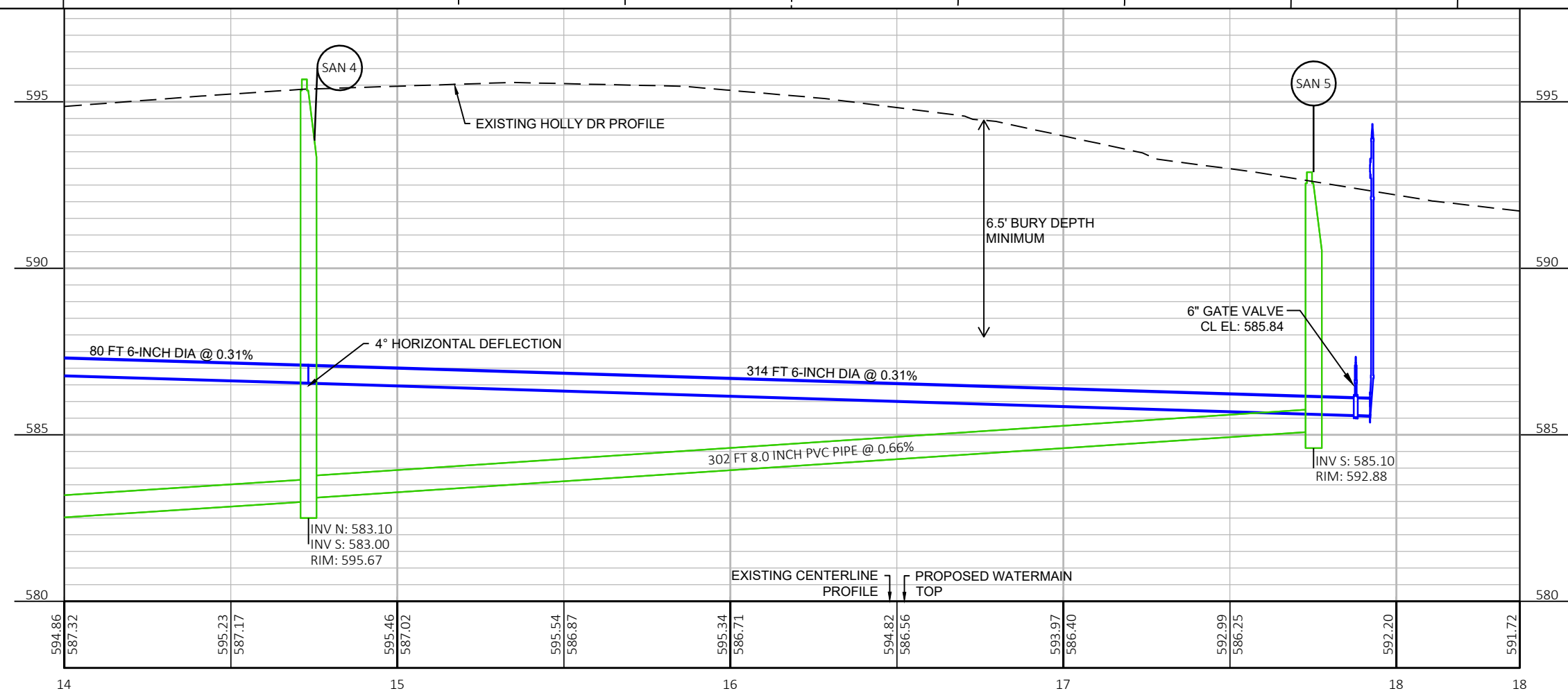
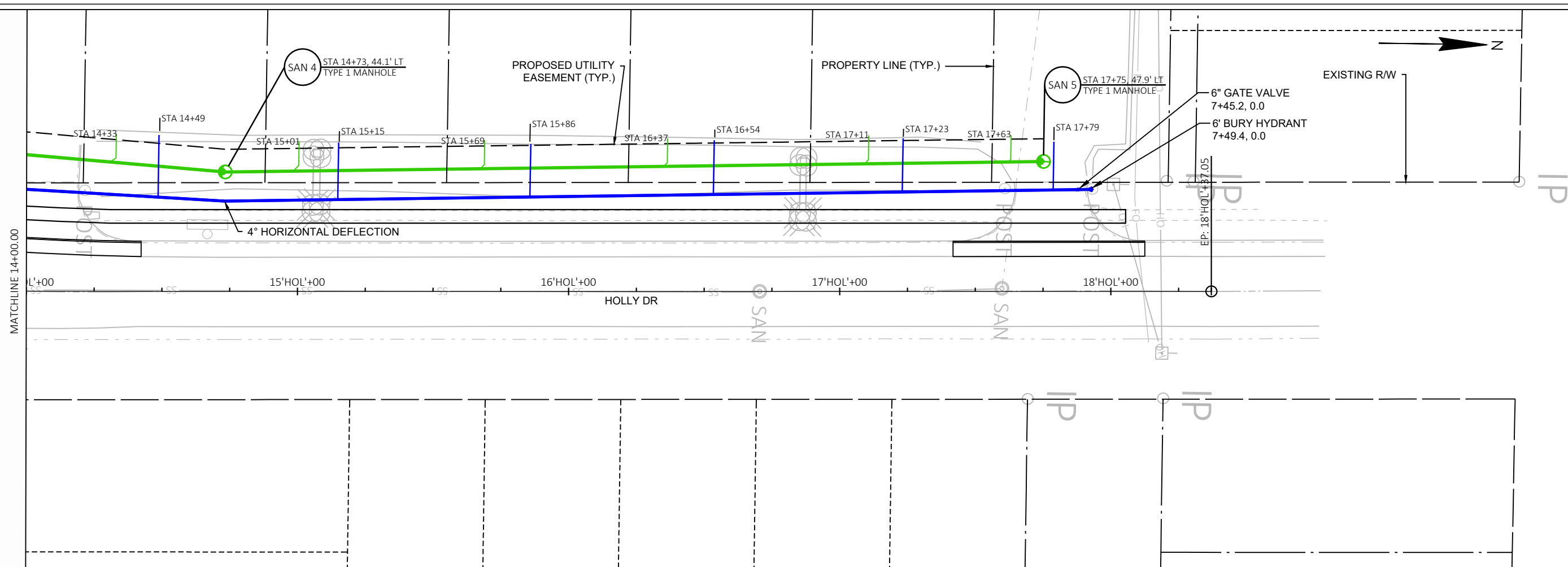












PROJECT:

MARINER LUX

PROJECT ADDRESS:  
E MAGNOLIA AVE  
MANITOWOC, WI

SHEET TITLE:

UTILITY PLAN -  
HOLLY

REVIEW DRAWING  
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CONSTRUCTION

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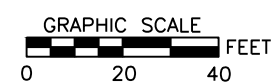
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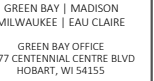












MARINER LUX

MAGNOLIA AVE  
MANITOWOC, WI

UTILITY PLAN -  
JOHNSTON

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CONSTRUCTION

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