

## Report to the Manitowoc Plan Commission

**Date:** August 26, 2015

**Request:** PC 26-2015 : Midwest Assisted Living Partners II, LLC (Midwest) Tender Reflections – Manitowoc Memory Care request for a Conditional Use Permit to locate up to a 72 bed Community Based Residential Facility west of S.T.H. 42 and south of U.S.H. 151 (Calumet Avenue) in a “R-5” and “B-3” Zoning District.

**Reason for Request:** Tender Reflections is planning to construct up to a 72 Bed Community Based Residential Facility (CBRF) in an area generally located at the southwest corner of S.T.H. 42 and U.S.H. 151 (Calumet Avenue). CBRF’s for 16 or more individuals require the issuance of a Conditional Use Permit pursuant to 15.370(27).

**Existing Land Use:** Vacant Farm Field

**Existing Zoning/CUP Requirements:** The 8.5 +/- acre project area has split zoning “R-5” Low Density Multiple Family and “B-3” General Business; CBRF’s for 16 or more individuals in both zoning districts require the issuance of a CUP. The zoning district boundary can be adjusted when the City does the comprehensive zoning update which is approximately every 10 years.

Under a Conditional Use Permit pursuant to Section 15.370(27), the Commission and Council must determine if the proposed use:

- A. is reasonably necessary for the convenience and welfare of the public.
- B. Is in harmony with the character of the surrounding area.
- C. Will have a minimal effect or no effect on the surrounding property values.

The Commission and Council can affix conditions to the CUP to provide assurances that the proposed use will remain in conformity with the criteria under subsection (27)c as well as compliance with regulations of the particular zoning district which the conditional use would be located.

**Comprehensive Plan:** The 20 year future land use map shows the area as Planned Mixed Use which projects future uses to be a blend of “community business, mixed residential, office, light industrial and Institutional and Community Services” land uses/

### Consistency Analysis

The proposed use is consistent with the 20 future land use map.

**Report:** Tender Reflections has an accepted offer to purchase approximately 8.5 acres +/- of land from the Florence Pleuss Revocable Trust. The area to be purchased is bounded by the City Limits to the

south, S.T.H. 42 to the east, an existing east west official map street to the north (proposed street is centered on an existing sanitary interceptor sewer) and private lands to the west.

Tender Reflections is planning a 3 phase building project. The initial single story building is 25,979 sf which will have 32 units with a total of 36 beds providing long term care for seniors suffering with Alzheimer's, dementia and memory related illnesses. Future phases would allow up to an additional 36 beds serving up to a maximum of 72 beds. Approximately 25 jobs will be created as part of the project.

A certified survey map will be coming in the near future creating the lot; and as part of the CSM the existing east west official map street will be dedicated. The concept plan shows a driveway coming directly off of S.T.H.; 42 the location was approved by D.O.T. The City will require that the driveway be relocated from accessing S.T.H. 42 and be relocated to the future east west street after it's constructed. The D.O.T. is aware of this and the applicant has agreed to relocate the driveway in the future.

**Compliance Analysis:** A CBRF is included in the definition of a "Community Living Arrangement" under Wis. Stat. § 62.23(7)(i). A CBRF is specifically defined under Ch. 50 "Uniform Licensure" as a facility for 5+ adults who are not related, and do not require care above intermediate level nursing care reside and receive care, treatment or services that are above the level of room and board, but include no more than 3 hours of nursing care per week per resident. CBRF's are further regulated under Department of Health Services (DHS) 83 which details regulations and standards for the care, treatment and services, as well as the health, rights and welfare of residents of a CBRF.

The American with Disabilities Act and Federal Fair Housing Act prohibit discrimination in housing because of a handicap or disability. The federal courts have ruled that the Fair Housing Act and Americans with Disabilities Act preempt any conflicting laws.

NOTE to the Plan Commission: The Plan Commission requested that a note be placed on the public notice indicating that the Commission and Common Council must follow Federal Fair Housing and Americans with Disabilities Act requirements; said note was incorporated into the public informational notice.

**General Background Information:** As of July 21, 2015 there are 25 Community Based Residential Facilities (CBRF =5 beds or more) with a total of 398 beds and 7 Adult Family Homes (AFH = 3 or 4 beds) with a total of 28 beds for a total of 35 Community Living Arrangements (CBRFs + AFH = CLAs) for a total 426 beds.

The proposed use is not within 2,500 feet of an existing Community Living Arrangement.

**Public Comments :** Notices were mailed out to the property owners within 200 feet of the subject and at the time of this report, no public comments were received.

**Recommendation:** The Community Development Department recommends approval of the Conditional Use Permit pursuant to the attached conditions. (see next page)

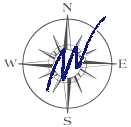
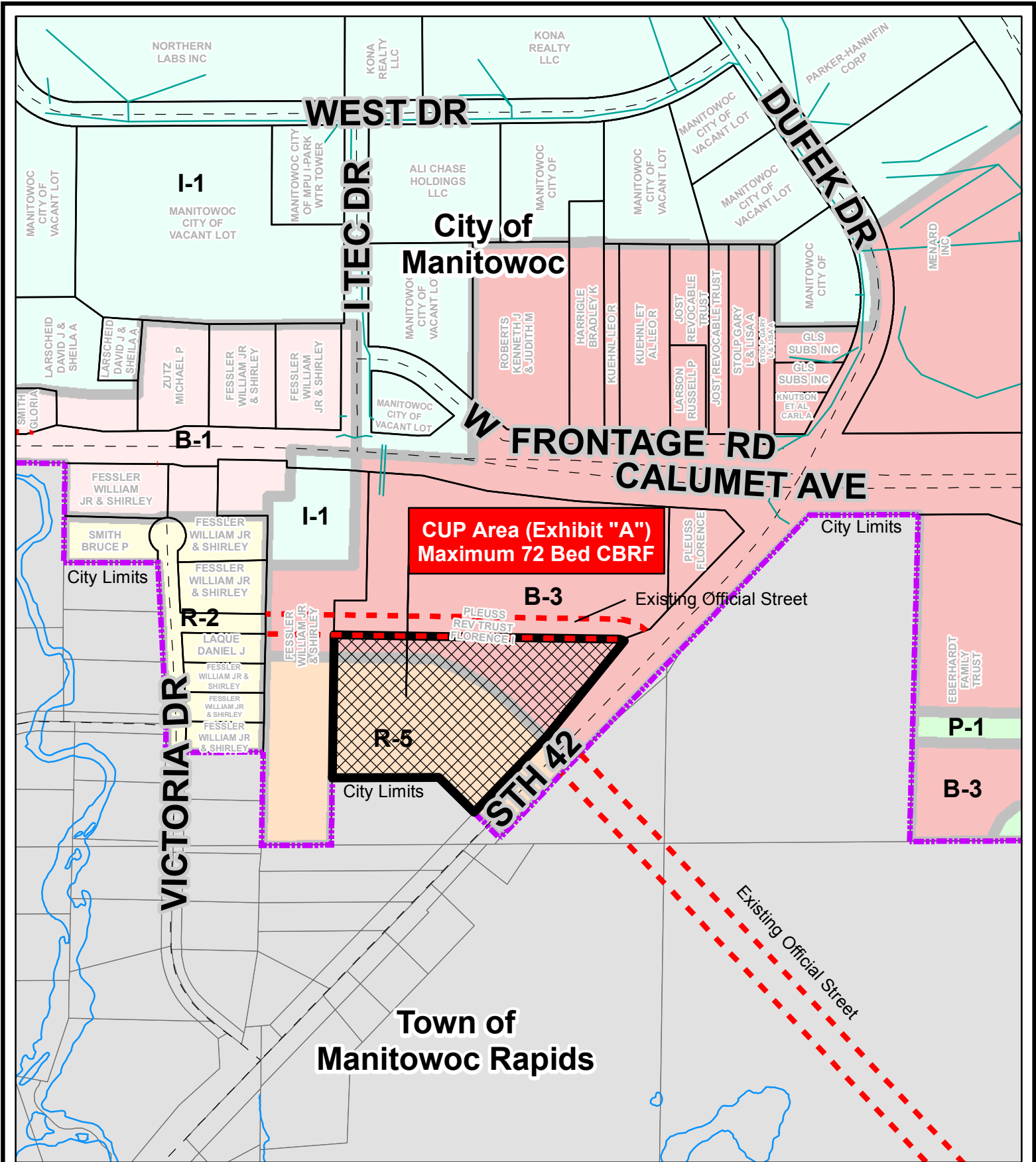
**REQUIREMENTS FOR  
CONDITIONAL USE PERMIT (CUP) APPROVAL FOR  
MIDWEST ASSISTED LIVING PARTNERS II, LLC d.b.a TENDER REFLECTIONS –  
MANITOWOC MEMORY CARE LOCATED AT THE  
SOUTHWEST CORNER S.T.H. 42 AND U.S.H. 151 (Calumet Avenue)  
8/26/2015**

Re: PC26-2015: The CUP is granted exclusively to Midwest Assisted Living Partners II, LLC d.b.a. Tender Reflections – Manitowoc Memory Care (hereinafter “Owner”, “Owners” or “Tender Reflections”) pursuant to Sections 15.170(3)(f) and 15.290(3)(g) of the Manitowoc Municipal Code (hereinafter “Code”), as may be amended from time to time, for the land and building at the southwest corner of S.T.H. 42 and U.S.H. 151/Calumet Avenue, and shall hereinafter serve as authorization for the location and operation of a Community Based Residential Facility (“CBRF”) with a total capacity of not more than 72 individuals in the “CUP Area”, as identified and highlighted on the attached map.

The Owners are required to comply with the following conditions:

1. If Tender Reflections does not secure CBRF licensing (the “License”) from the State of Wisconsin, Department of Health Services (the “State”) by December 31, 2016, this CUP is void and terminates effective January 1, 2017. Tender Reflections to provide the City Planner written documentation evidencing the issuance of the License for the 72-person CBRF in the CUP Area. In the event this license is not secured by January 1, 2017, Tender Reflections shall be required to re-apply to the City for a CUP.
2. The CUP authorizing the location and operation of a CBRF in the CUP Area shall not be approved until the Common Council approves the CUP as outlined herein, and shall not become effective until the latest date that all of the following have been approved and completed: (i) City Council approves the issuance of the CUP, (ii) the date that Tender Reflections takes title to the CUP Area, (iii) Tender Reflections completes all conditions related to the approval of a Site Plan and Development Agreement.
3. This CUP shall be terminated in the event Tender Reflections fails to acquire the CUP Area pursuant to the May 31, 2015 “Vacant Land Offer to Purchase” on file in the Community Development Department.
4. This CUP does not waive or pre-empt any requirements under any building or zoning codes or any other requirements of any municipal, state or federal regulation, statute or law.
5. When the existing east/west official map street which is along the north line of the CUP Area is constructed the Owner shall then be required to relocate the private driveway accessing the CUP Area from S.T.H. 42 to the future road at the owner’s expense. All access driveways servicing the CUP Area off of S.T.H. 42 shall be removed and restored pursuant to City of Manitowoc and Wis D.O.T. standards.
6. In the event the property comprising the CUP Area is sold or leased to a party other than an entity in which the Owner has a controlling interest, this CUP shall terminate effective the date of conveyance, unless the Owner is permitted to occupy the CUP Area under the new ownership.

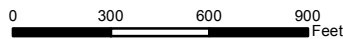
7. The CUP shall not be assigned, transferred, sublet or conveyed without the review and recommendation by the City Plan Commission, and approval by the Manitowoc Common Council.
8. Non-compliance with the terms of the CUP may result in the modification of the terms and conditions of the CUP, issuance of citations and financial penalties, or immediate revocation of the CUP.
9. The CUP shall automatically terminate effective the date any License or certification granted to the Owner by the State, or any State-approved license which is assigned or transferred to a City-approved assignee or licensee for the CBRF at the CUP Area is closed, denied, revoked, or terminated by either the Owner or the State.






Prepared by City of Manitowoc  
 Planning Department  
 www.manitowoc.org  
 Map Plotted: 08/18/2015  
 Y:\Planning\PC Plan Commission\Actions 2015\PC26-2015 Tender Reflections  
 DISCLAIMER: Maps and associated data are believed to be accurate, but are not  
 warranted. This information is not intended for legal, survey, or other related uses.  
 Please obtain the original recorded documents for legal or survey information.

**Request for  
 Conditional Use Permit  
 Maximum 72 Bed CBRF  
 City of Manitowoc, WI**

PC26-2015 Tender Reflections Manitowoc;  
 State HWY 42



-  Tender Reflections
-  Official Map Street
-  Corporate Limits



**elliott architects, llc.**

86 coulee road, suite 200  
hudson, wisconsin 54016  
715 386 8303 p  
715 386 2589 f  
www.elliottarchitects.com

July 22, 2015

Planning Department  
City of Manitowoc  
900 Quay Street  
Manitowoc, WI 54220

## **Architectural Narrative for Manitowoc Memory Care – Tender Reflections**

The following is a Statement of Design Intent

### **Building Function:**

Tender Reflections is a 32 unit/36 bed CBRF, class CNA, memory care facility. The facility will provide long term care for seniors suffering with Alzheimer's, Dementia and memory related illnesses.

### **Size and Construction:**

The building is an I-2 CBRF classification with a Type VA construction type. Type VA is wood framed with wood trusses and has bearing walls and ceilings that are of 1 hour fire-rated construction. It has a complete NFPA 13 fire suppression system (sprinkler). The one-story building footprint is 25,979 square feet including an outdoor covered front porch. The floor plan and site plan are designed for two future neighborhood wings that will include 36 additional beds.

### **Interior Concept:**

The floor plan is an open concept allowing maximum wandering space with both public and private gathering space. Amenities include a front porch, a back patio, great room with fireplace, activity kitchen, private dining, community dining, commercial kitchen, relaxation room, and beauty salon. The facility is divided into two distinct neighborhoods by the center common area. Each neighborhood has 12 private rooms, 2 double rooms, and 2 ADA accessible rooms. Every room has a private toilet room, shower, and individual heating and cooling control to ensure comfort for the occupants. In addition, neighborhoods have medication rooms, caregiver stations, a public toilet room and a common living and activity room. The interiors are a warm and rich color pallet that calms the residents with dark wood, warm neutrals, and softly patterned floor coverings.

**Exterior Concept:**

The exterior design is classic American, front porch architecture. It's important to maintain a comfortable residential scale and look to the facility. We do this with roof lines, residential materials, residential elements and detailing. The materials we've selected to execute this concept include architectural grade asphalt shingles, lap siding, cedar shake siding, pre-cast concrete stone, and generous amounts of trim work. The lap siding is a warm slate color commercial grade vinyl accented with cream colored, cedar shake vinyl siding in the gables. Stonework on the fireplaces, architectural columns, and all of the building facades is Dutch Quality, Weather Ledge with earth tone colors highlighted by darker slate stones. The white trim work is low maintenance prefinished aluminum and painted LP Smartside to complete the traditional neighborhood look.

**Landscape Concept:**

The landscape plan provides multiple landscaped and gently curving accessible walking paths for the residents. The building's perimeter is completely landscaped with perennials and shrubs that screen the foundation and add visual interest for visitors and residents. Trees include species such as birch, linden, oak and spruce that provide seasonal interest year round and match the scale of the building.

## CONDITIONAL USE PERMIT NARRATIVE

### Overview

Tender Reflections is applying for a conditional use permit for a memory care facility in Manitowoc.

Tender Reflections, a home for seniors, is dedicated to providing peace of mind to residents and families by offering dignified care while respecting the mind body and spirit of each person served. To live this mission we hire and develop staff to provide our residents care and services focused on memory impairment and its effects on the whole person. Being engaged and living joyfully in the moment in a safe environment brings the Sanctuary Experience to life.

### Project Need

The area has a significant unmet need for Alzheimer's and memory care patients.

Tender Reflections brings approximately 25 new jobs to the area that will serve our resident population 24/7.

### Facility/Location

The building is just under 26,000 square feet (see architectural narrative for additional details).

Site is located on State Trunk Highway 42, just South of State Highway 151 in the Southwest Quadrant. (see site map for further details).

### Zoning

The site is currently zoned B3 and R5. The facility is a conditional use in both zoning districts.

### Certified Survey Map

As part of the project the owner will be submitting a certified survey map, subdividing and creating the property as shown on the site plan. Right of way will be dedicated to the City as part of the certified survey mapping process.



### Site Details

The overall property currently consists of approximately 23.1 acres. After the completion of the certified survey map the site will consist of approximately 8.6 acres.

On-site parking will be provided and exceeds the City requirements in both parking count and stall size.

Stormwater management will be provided on-site to meet both the City stormwater requirements and the Wisconsin Department of Natural Resources requirements.

### Utility

The facility will be served by both city water and sewer. A mainline sanitary line is available and bisects the site (future public street). Watermain will need to be extended to service the property. The building will be sprinklered.

# TENDER REFLECTIONS MEMORY CARE

## NEW MEMORY CARE FACILITY

## MANITOWOC, WISCONSIN



Elliot Architects  
 1800 Wisconsin Avenue, Suite 200  
 Madison, WI 53706

DATE: 8-10-2015  
 DRAWN BY: Elliot M. Anderson  
 CHECKED BY: *Elliot M. Anderson*

PROJECT NO. 15-018

TENDER REFLECTIONS  
 MEMORY CARE

HWY 42 AND HWY 151  
 MANITOWOC, WI



CUP  
 SUBMITTAL

CUP SUBMITTAL 8-10-2015

TITLE SHEET

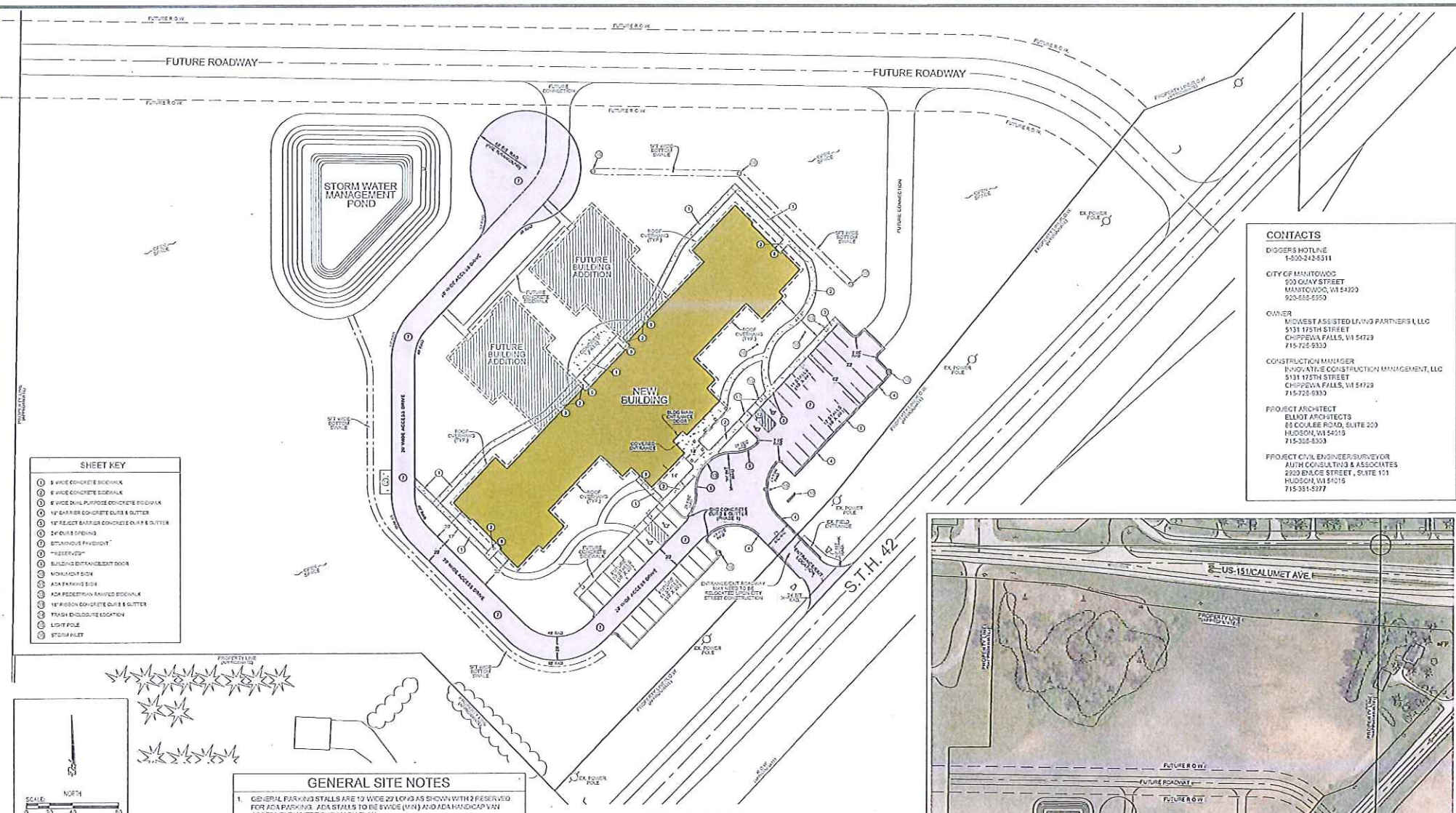
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Copyright 2015

DESIGN TEAM				
<b>OWNER:</b> MIDWEST ASSISTED LIVING PARTNERS, LLC. 5131 175th STREET CHIPPEWA FALLS, WISCONSIN 54729	<b>CONSTRUCTION MANAGER:</b> INNOVATIVE CONSTRUCTION MANAGEMENT, LLC 5131 175th STREET CHIPPEWA FALLS, WISCONSIN 54729 P. 715-728-9390 CONTACT: CURT CROTTY	<b>ARCHITECT:</b> ELLIOT ARCHITECTS, LLC 89 COULÉE ROAD, SUITE 200 HUDSON, WISCONSIN 54016 P. 715-335-8333 CONTACT: BRIAN HINZ	<b>STRUCTURAL ENGINEER:</b> DYNAMIC STRUCTURES, PC 204 SIBLEY STREET, SUITE 202 HASTINGS, MINNESOTA 55033 P. 651-437-2100 CONTACT: DAVE SENTER	<b>CIVIL ENGINEER:</b> AUTH-CONSULTING ASSOCIATES 2920 ENLOE STREET HUDSON, WISCONSIN 54016 P. 715-531-5377 CONTACT: MATT HEB

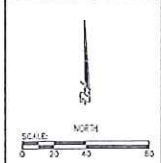


SHEET INDEX		CUP SUBMITTAL		NOTES	
SHEET #	SHEET DESCRIPTION				
T1.0	COVER AND INDEX SHEET				
LANDSCAPE					
L1.0	LANDSCAPE PLAN				
CIVIL					
C1.0	EXISTING SITE CONDITIONS				
C2.0	OVERALL SITE PLAN				
C3.0	GRADING PLAN				
C4.0	EROSION CONTROL PLAN				
C5.0	UTILITY PLAN				
C6.0	PLAN AND PROFILE VIRGINA AVE				
C7.0	DETAILS				
CP.1	DETAILS				
CP.2	DETAILS				
CP.3	DETAILS				
CP.4	DETAILS				
CP.5	DETAILS				
CS.0	LIGHTING PLAN				
ARCHITECTURAL					
A1.1	LIFE SAFETY PLAN				
A2.0	FLOOR PLAN AREA 'A'				
A2.1	FLOOR PLAN AREA 'B'				
A2.2	ROOF PLAN AREA 'A'				
A2.3	ROOF PLAN AREA 'B'				
A3.0	EXTERIOR ELEVATIONS				
A3.1	EXTERIOR ELEVATIONS				
A3.2	EXTERIOR ELEVATIONS				
INTERIORS					
FOOD SERVICE					
STRUCTURAL					



**SHEET KEY**

6 WIDE CONCRETE SIDEWALK
8 WIDE CONCRETE SIDEWALK
6 WIDE DUAL PURPOSE CONCRETE SIDEWALK
18" BARRIER CONCRETE CURB & GUTTER
18" REJECT BARRIER CONCRETE CURB & GUTTER
24" CURB OPENING
STIMULOUS PAVEMENT
"RESERVED"
BUILDING TRANSPARENT DOOR
NOVAKIDT SIGN
ADA PARKING SIGN
ADA PEDESTRIAN RAMPED SIDEWALK
18" BARRIER CONCRETE CURB & GUTTER
TRASH ENCLOSURE SIGNAGE
LIGHT POLE
STORM PILE



**LEGEND**

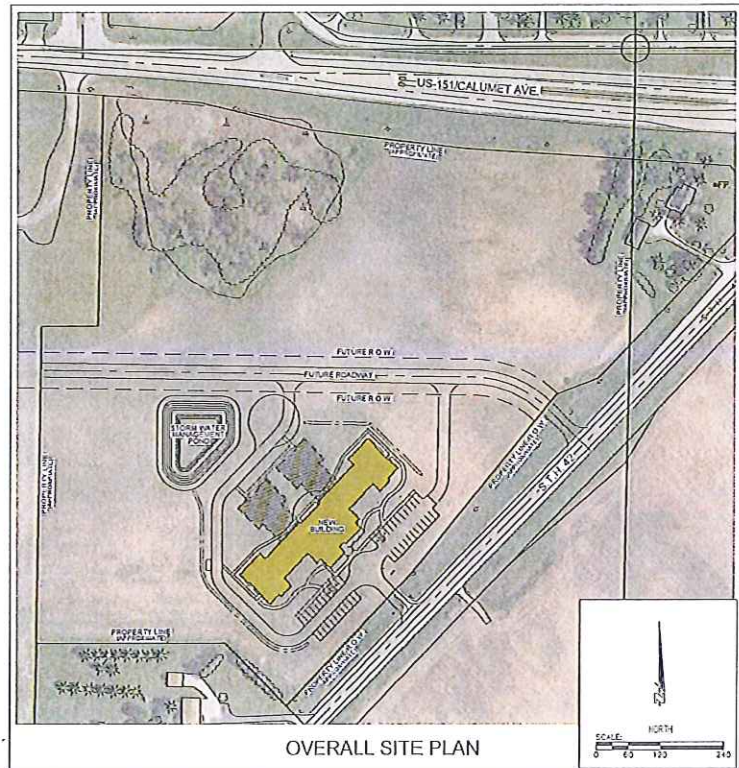
---	EXISTING LOT BOUNDARY (APPROXIMATE)
- - -	NEW PUBLIC UTILITY EASEMENT LINE
[Symbol]	NEW CONCRETE SURFACE AREAS
[Symbol]	NEW PAVED SURFACE AREAS
[Symbol]	NEW BUILDING
[Symbol]	NEW 18" BARRIER CONCRETE CURB & GUTTER
[Symbol]	NEW 18" REJECT BARRIER CONCRETE CURB & GUTTER
[Symbol]	FUTURE BUILDING (PHASE 2)
[Symbol]	NEW LIGHT POLE

- GENERAL SITE NOTES**
- GENERAL PARKING STALLS ARE 10' WIDE 20' LONG AS SHOWN WITH 2 RESERVED FOR ADA PARKING. ADA STALLS TO BE 8' WIDE (MIN) AND ADA HANDICAP VAN ACCESSIBLE WHERE SHOWN ON PLAN.
  - CONTRACTOR TO OBTAIN PERMISSOR PERMIT FROM THE CITY TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LAINE CLOSURES OR TRAFFIC CONTROL SCHEDULED TOUR PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH CITY STAFF, AS REQUIRED.
  - CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
  - CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG THE PROJECT.
  - NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.

- ADA ACCESSIBILITY NOTES**
- ACCESSIBLE ROUTE NOT TO EXCEED 1:20 (5%) SLOPE, WITH 1:48 MAX CROSS SLOPE.
  - HANDICAP PARKING SPACES & ACCESS AISLES SHALL NOT EXCEED 1:48 MAX SLOPE IN ANY DIRECTION.
  - ADA PARKING SPACES SHALL BE A MIN OF 96" AND ACCESSIBLE A MIN OF 60". TWO ADJACENT PARKING SPACES MAY SHARE A COMMON ACCESSIBLE VAN ACCESS AISLES SHALL BE A MIN OF 60".
  - EACH HANDICAP PARKING SPACE SHALL BE PROVIDED WITH A HANDICAP PARKING SIGN.

**SITE DATA**

LOT AREA	8.6 ACRES
CURRENT ZONING	B3 (CONDITIONAL USE PERMIT) F3 (CONDITIONAL USE PERMIT)
PRINCIPAL BUILDING SETBACK REQUIREMENTS	25' FRONT YARD SETBACK (R5) 12' SIDE YARD SETBACK (R3) 25' REAR YARD SETBACK (R3)
PARKING	REQUIRED STALL DIMENSIONS - 9' x 18'
REQUIRED PARKING	1 STALL/1 BEDS + 1 STALL/1 EMPLOYEES MAX. SHIFT
PHASE 1 - 35 BEDS + 8 CARE STAFF + 6 ADMIN. STAFF	REQ'D STALLS = 35 BEDS + 12 EMP + 21 STALLS
PHASE 1 + PHASE 2 - 63 BEDS + 12 CARE STAFFS ADMIN. STAFF	REQ'D STALLS = 63 BEDS + 18 EMP + 35 STALLS
AVAILABLE PARKING	PHASE 1 - 23 (1,000' STALLS) PHASE 2 - 21 (1,000' STALLS) TOTAL = 44 STALLS (PHASE 1 + PHASE 2)



**CONTACTS**

**DIGGERS HOTLINE**  
1-800-243-5311

**CITY OF MANITOWOC**  
200 QUAY STREET  
MANITOWOC, WI 54220  
920-832-6350

**OWNER**  
MIDWEST ASSISTED LIVING PARTNERS I, LLC  
5311 12TH STREET  
CHIPPewa FALLS, WI 54729  
715-722-9330

**CONSTRUCTION MANAGER**  
INNOVATIVE CONSTRUCTION MANAGEMENT, LLC  
5311 12TH STREET  
CHIPPewa FALLS, WI 54729  
715-722-9330

**PROJECT ARCHITECT**  
ELLIOT ARCHITECTS  
88 COULEE ROAD, SUITE 203  
Hudson, WI 54219  
715-353-8303

**PROJECT CIVIL ENGINEER/SURVEYOR**  
AUTH CONSULTING & ASSOCIATES  
2820 EDGE STREET, SUITE 101  
Hudson, WI 54219  
715-351-5377

DRAIN BY: ZPF	DATE: 05/17/15	REV. FILE: 5275-005	DATE: 05/17/15
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PROJECT: TENDER REFLECTIONS  
MEMORY CARE - MANITOWOC  
CITY OF MANITOWOC, WISCONSIN

SHEET NO. C2.0

Auth-Consulting/associates

 elliot  
architects



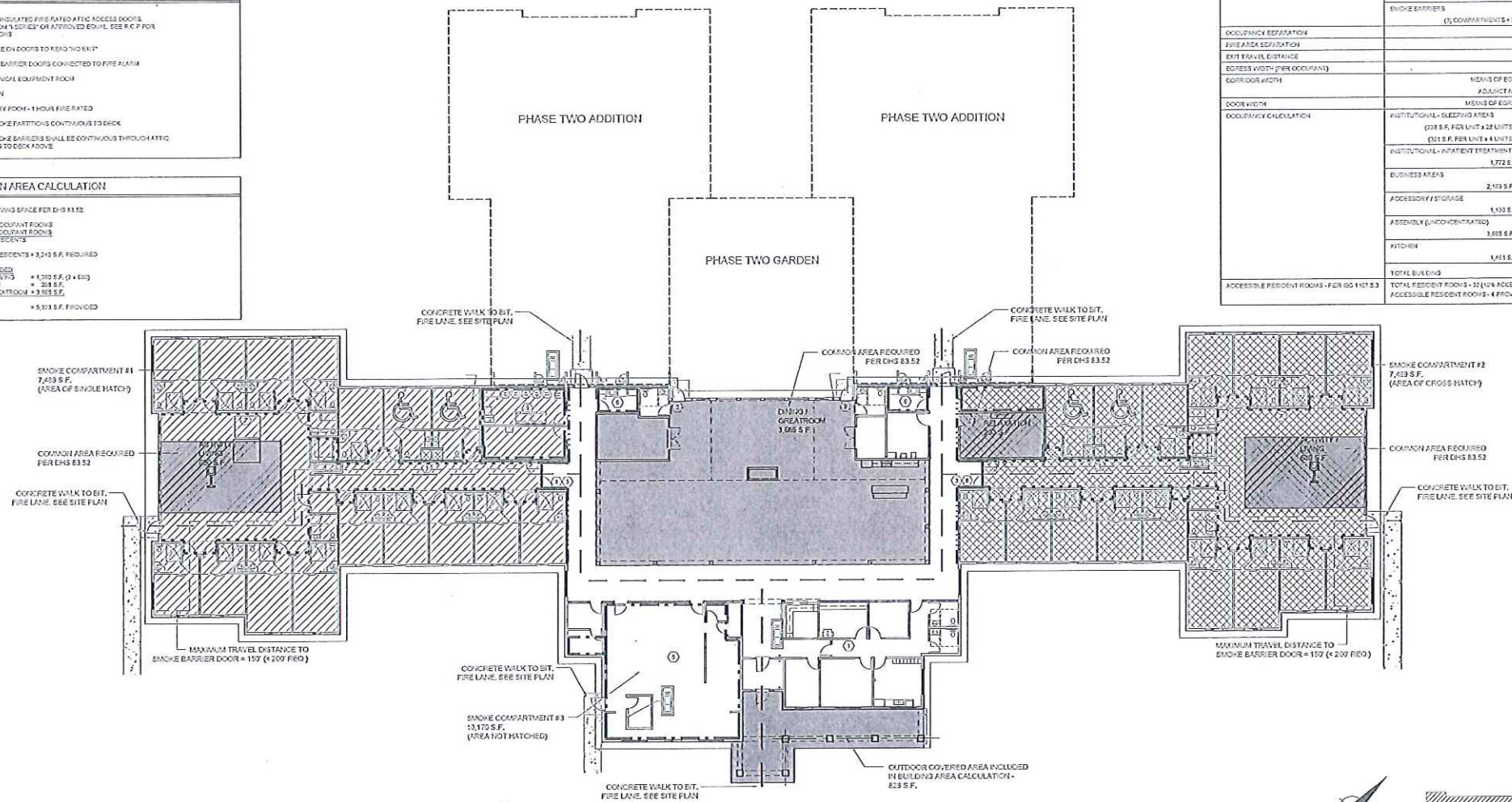
LIFE SAFETY SYMBOLS KEY	
	INTERIOR LOAD BEARING WALL - 1 HOUR FIRE RATED
	INTERIOR NON-LOAD BEARING WALL - 1 HOUR FIRE RATED
	SMOKE PARTITION
	SMOKE BARRIER - 1 HOUR
	FIRE BARRIER - 1 HOUR
	EGRESS ACCESS ROUTE AND EGRESS DISCHARGE WIDTH
	EXIT LIGHT SIGN
	<b>FIRE EXTINGUISHER</b> TYPE A, 2.5 LB. PORTABLE, BY BAIKED ENAMEL FINISH TYPICAL, AND 2.5 GAL. GLASS KATACHEN LOCATION COMMERCIAL - NFPA 10 - UL 44-205 C
	<b>FIRE EXTINGUISHER SEMI-RECESSED CABINET</b> CABINET CONFORM TO USC 438 (ASTM E318 B) FOR FIRE RESISTIVE WALL PERFORMANCE IF PERMITTED NECESSARY. ALUMINUM OR BRASS MOUNTED, WHITE CABINET, 14-1/2" H, 12" W, FULL GLASS DOOR, 0.5 CLASS, DIE CAST FIDULETTER, FULLY FIRE RATED. CONFORM TO ICA FOR PROTECTION. SEE DTLS 6.5 & 6.6.
	DEVOTES ACCESSIBLE ROOM

- LIFE SAFETY PLAN KEY NOTES:**
1. 20" x 24" INSULATED FIRE RATED ATTIC ACCESS DOORS, IN SYSTEM "S" SERIES OR APPROVED EQUAL, SEE R.C.P. FOR LOCATION'S
  2. SIGNAGE ON DOORS TO READ "NO EXIT"
  3. SMOKE BARRIER DOORS CONNECTED TO FIRE ALARM
  4. MECHANICAL EQUIPMENT ROOM
  5. KITCHEN
  6. LAUNDRY ROOM - 1 HOUR FIRE RATED
  7. ALL SMOKE PARTITIONS CONTINUOUS TO DECK
  8. ALL SMOKE BARRIERS SHALL BE CONTINUOUS THROUGH ATTIC SPACES TO DECK ABOVE

**COMMON AREA CALCULATION**

REQUIRED LIVING SPACE PER DHS 83.52	
28 SINGLE OCCUPANT ROOMS	
4 DOUBLE OCCUPANT ROOMS	
35 TOTAL RESIDENTS	
30 S.F. x 35 RESIDENTS = 3,150 S.F. REQUIRED	
AREA PROVIDED FOR THE LIVING	+ 1,320 S.F. (3 x 430)
RECREATION	= 208 S.F.
STORAGE/GREATROOM	+ 3,365 S.F.
TOTAL	= 8,043 S.F. PROVIDED

CODE COMPLIANCE	
APPLICABLE CODES	WISCONSIN COMMERCIAL BUILDING CODE DHS CHAPTER F1 - CORP
OCCUPANCY CLASSIFICATION	I-2 CORP CLASSIFICATION
CONSTRUCTION TYPE	TYPE IVA
FIRE SUPPRESSION	COMPLETE NFPA 13
FIRE DETECTION SYSTEM	FIRE (DHS) AS A MIN
FORWARD FIRE EXTINGUISHERS	LOCATIONS AS REQUIRED
NUMBER OF STORIES	1 STORY
BUILDING AREA	BUILDING FOOTPRINT = 25,151 S.F. OUTDOOR COVERED AREA = 823 S.F. TOTAL = 25,974 S.F.
BASE ALLOWABLE AREA PER DG TABLE 503	1 STORY (V) SF 25,020 S.F.
HEIGHT & AREA MODIFICATION PER DG SECTION 505	SPRINKLER INCREASE 9,500 + (3,500/300%) = 35,000 S.F. PROVIDE INCREASE NONE REQUIRED
MAX. ALLOWABLE AREA	35,000 S.F.
FIRE RESISTANCE RATINGS FOR TYPE IVA	STRUCTURAL FRAME 1 HOUR EXTERIOR BEARING WALLS 1 HOUR INTERIOR BEARING WALLS 1 HOUR INTERIOR NON-BEARING WALLS 0 HOUR FLOOR CONSTRUCTION NA ROOF CONSTRUCTION 1 HOUR CORRIDOR WALLS 0 HOUR 104 RATED SMOKE BARRIERS 1 HOUR SMOKE BARRIERS (1) COMPARTMENTS + 22,500 S.F. 0 HOUR
OCCUPANCY SEPARATION	1 HOUR
FIRE AREA SEPARATION	0 HOUR
EXIT TRAVEL DISTANCE	200'
CORRIDOR WIDTH	MEANS OF EGRESS - 50' ADJUNCT AREAS - 44' MEANS OF EGRESS - 41.5'
DOOR WIDTH	MEANS OF EGRESS - 41.5'
OCCUPANCY CALCULATION	INSTITUTIONAL - SLEEPING AREAS (208 S.F. PER UNIT x 28 UNITS) / 100 = 58 (201 S.F. PER UNIT x 4 UNITS) / 100 = 11 INSTITUTIONAL - INPATIENT TREATMENT 1,772 S.F. / 1241 = 8 BUSINESS AREAS 2,103 S.F. / 100 = 23 ACCESSORY / STORAGE 1,130 S.F. / 100 = 4 ASSEMBLY (UNCONCENTRATED) 3,885 S.F. / 115 = 35 KITCHEN 1,651 S.F. / 100 = 8 TOTAL BUILDING 354 TOTAL RESIDENT ROOMS - 32 (10% ACCESSIBLE) ACCESSIBLE RESIDENT ROOMS - 4 PROVIDED
ACCESSIBLE RESIDENT ROOMS - PER DG 1107.5.3	



1 LIFE SAFETY PLAN  
NOT TO SCALE



Elliot architects  
1401 Central Ave., Suite 200, Madison, WI 53703  
P: 608.278.2222 F: 608.278.2223

DATE: 8-10-2015  
DRAWN BY: Elliot M. Anderson  
CHECKED BY: [Signature]

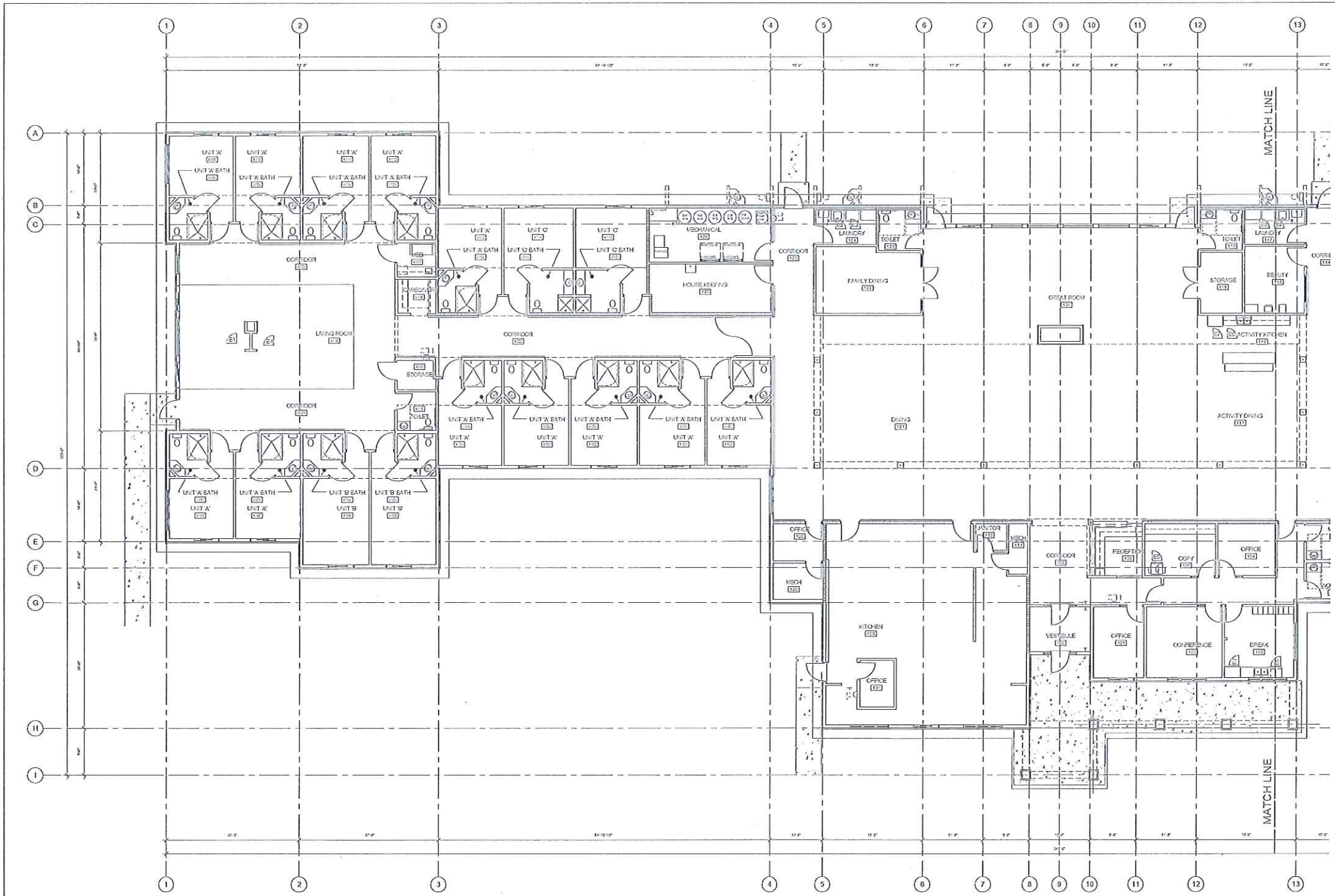
TENDER  
REFLECTIONS  
MEMORY CARE  
HWY 42 AND HWY 151  
MANTICWOC, WI



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DATE	8-11-2015

LIFE SAFETY PLAN  
A1.1  
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1 FLOOR PLAN AREA 'A'  
1/8" = 1'-0"



elliott architects  
 1500 Broadway, Suite 200, Hudson, NJ 07631  
 P: 973.529.8200 F: 973.529.8201

PROJECT NO. 15-018  
 TENDER REFLECTIONS MEMORY CARE  
 HWY 42 AND HWY 151  
 MANITOWOC, WI

PROJECT NO. 15-018

TENDER  
 REFLECTIONS  
 MEMORY CARE

HWY 42 AND HWY 151  
 MANITOWOC, WI



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	8/11/2015

FLOOR PLAN  
**A2.0**  
8/11/2015



elliot architects  
Headquarters: 800 W. Wisconsin Ave., Suite 500  
P.O. Box 12144, Milwaukee, WI 53212-0144  
Tel: 414.224.3333

DATE: 8-10-2015  
DESIGNED BY: Elliot M. Anderson  
DRAWN BY: *Elliot M. Anderson*

PROJECT NO. 1528

TENDER  
REFLECTIONS  
MEMORY CARE

HWY 42 AND HWY 151  
MANTOWOC, WI



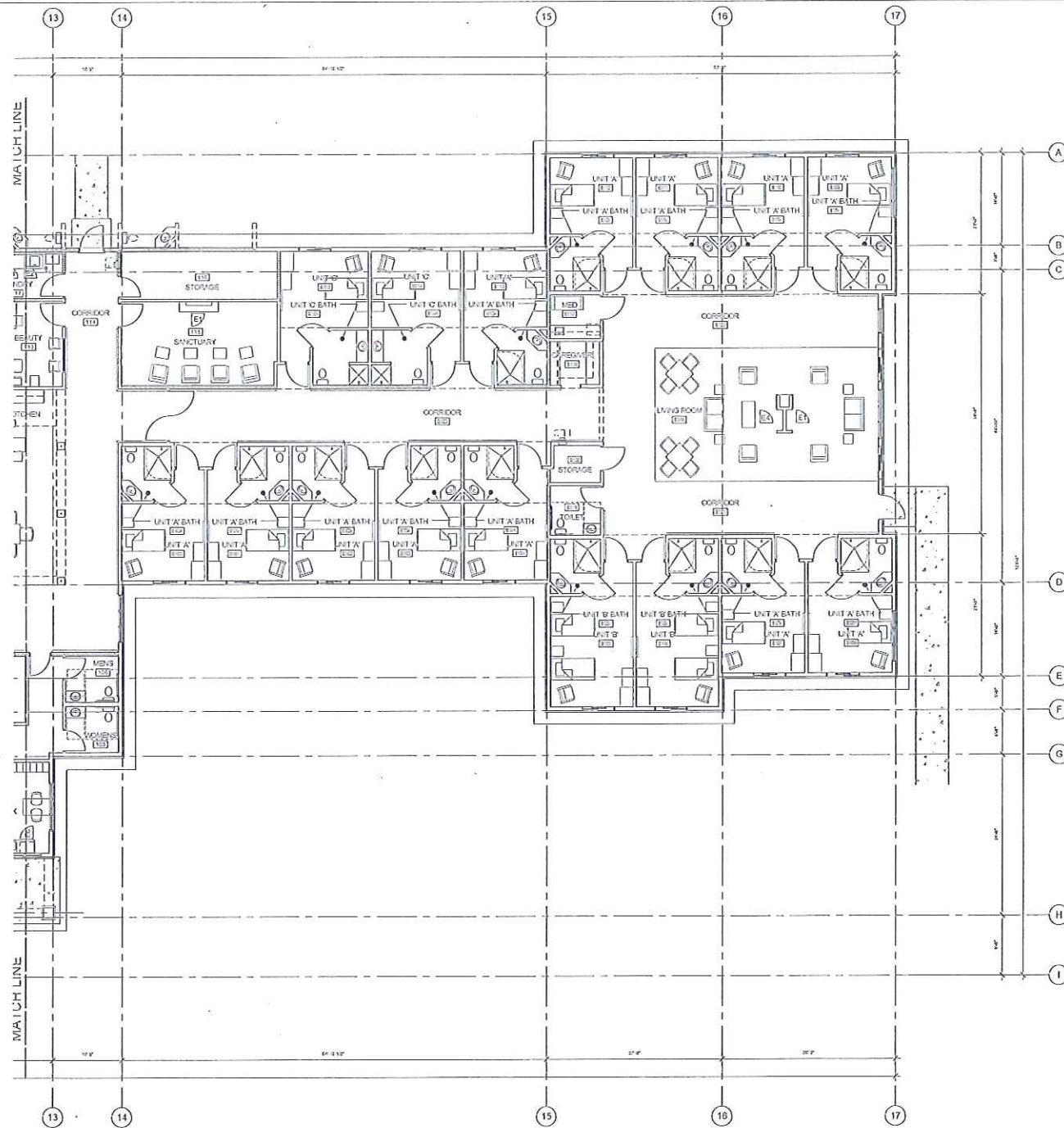
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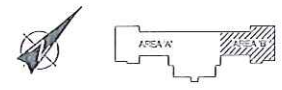
FLOOR PLAN

A2.1

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1 FLOOR PLAN - AREA 'B'  
1/8" = 1'-0"





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**6-10-2015**

**ELLIOTT M. ANDERSON**  
ARCHITECT

PROJECT NO. 15-028

**TENDER  
REFLECTIONS  
MEMORY CARE**

**HWY 42 AND HWY 151  
MANTOWOC, WI**

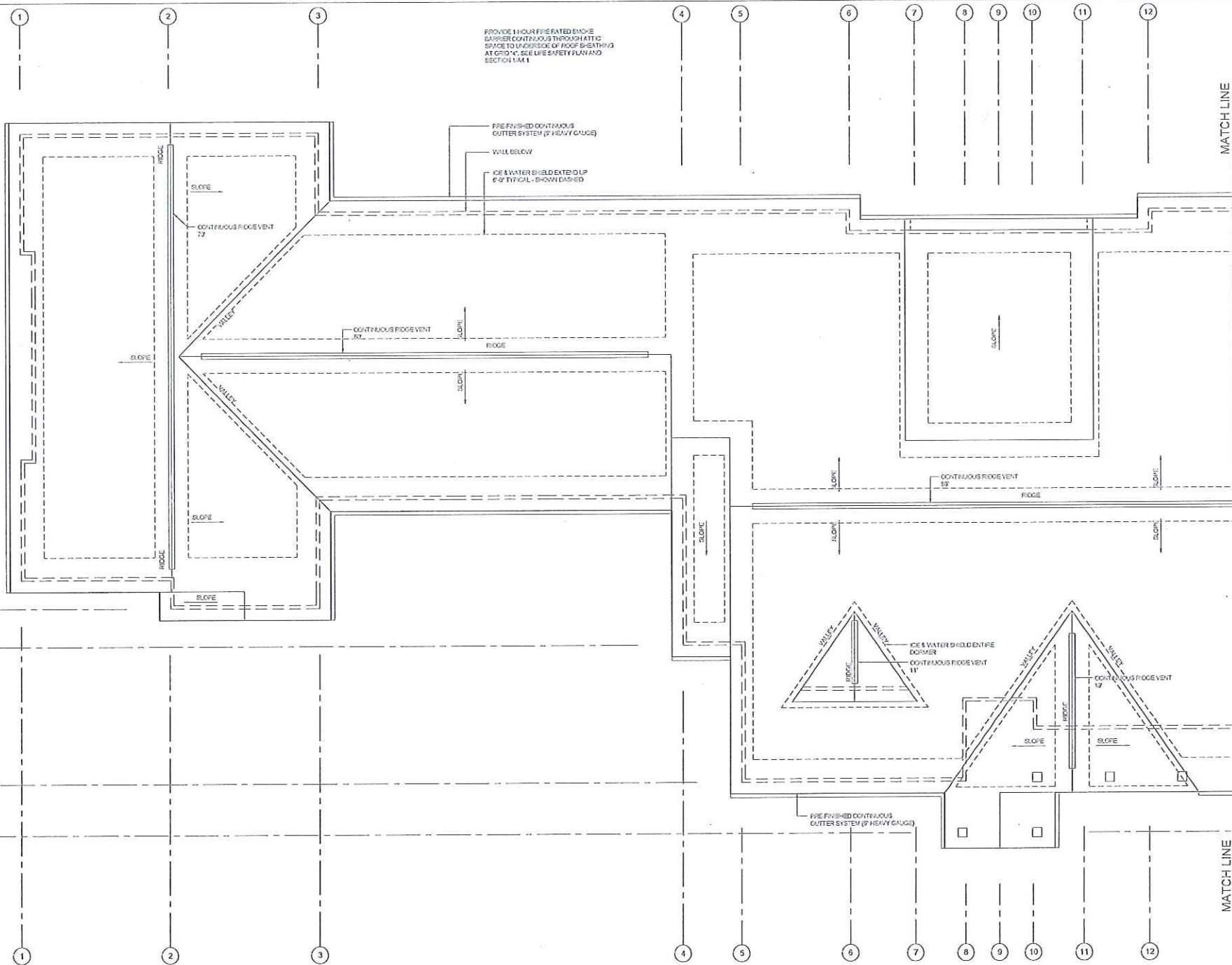


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CUP DATE: 6/10/2015

**ROOF PLAN**

**A2.2**



**1 ROOF PLAN - AREA 'W'**  
1/8" = 1'-0"







allied architects  
1400 North Walnut Street, Suite 200  
Madison, WI 53703  
608.261.2000

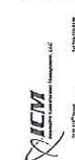
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DATE: 8-10-2015

DESIGNER: ERIC M. ANDERSON  
DRAWN BY: [Signature]  
SCALE: AS SHOWN

PROJECT NO: 151018

TENDER  
REFLECTIONS  
MEMORY CARE

HWY 42 AND HWY 151  
MANTOWOC, WI



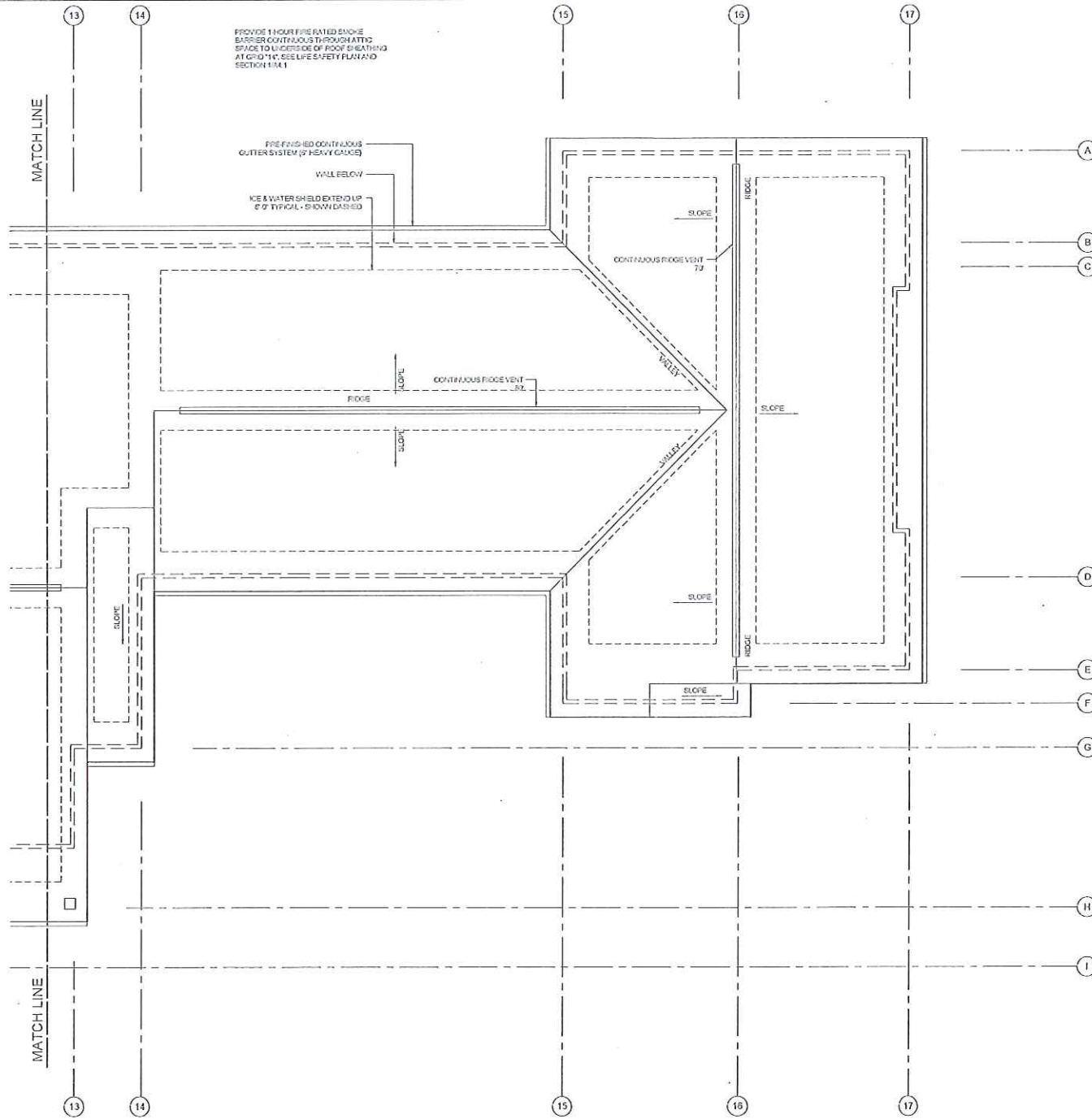
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ROOF PLAN

A2.3

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1 ROOF PLAN - AREA 'B'  
1/2" = 1'-0"



eiffel architects  
 1100 Highland Ave., Suite 200, Madison, WI 53704  
 P: 608.263.4733 FAX: 608.263.4734

DATE: 8-10-2015  
 PROJECT: TENDER REFLECTIONS MEMORY CARE  
 ARCHITECT: Elliot M. Anderson  
 SOURCE: *Elliot M. Anderson*

PROJECT NO. 1518

TENDER  
 REFLECTIONS  
 MEMORY CARE

HWY 42 AND HWY 151  
 MANTOWOC, WI



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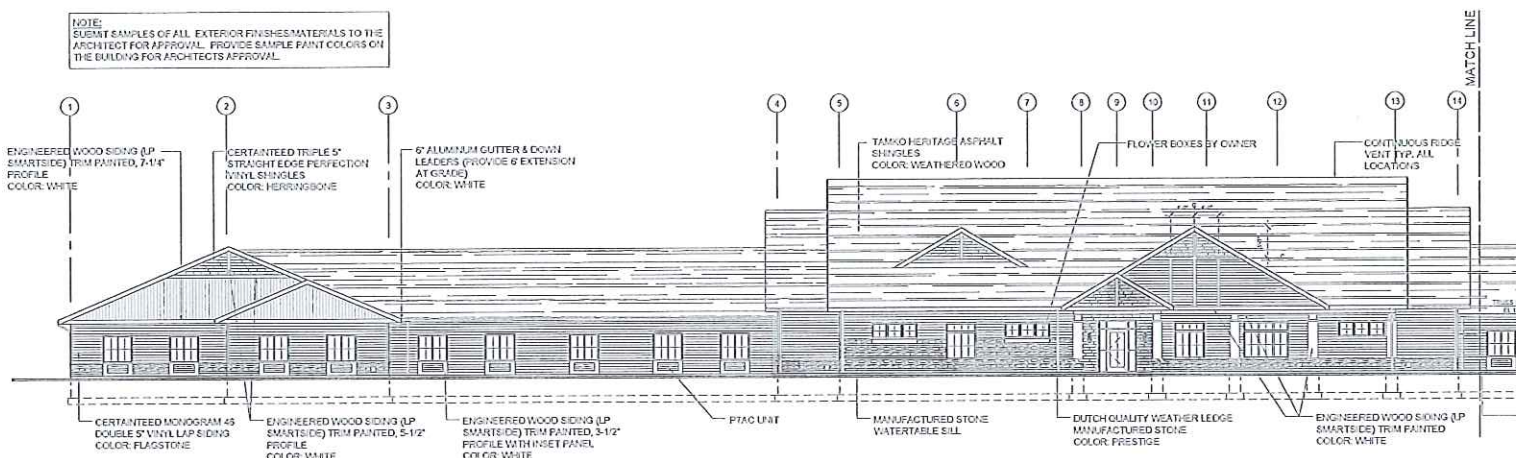
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ELEVATIONS

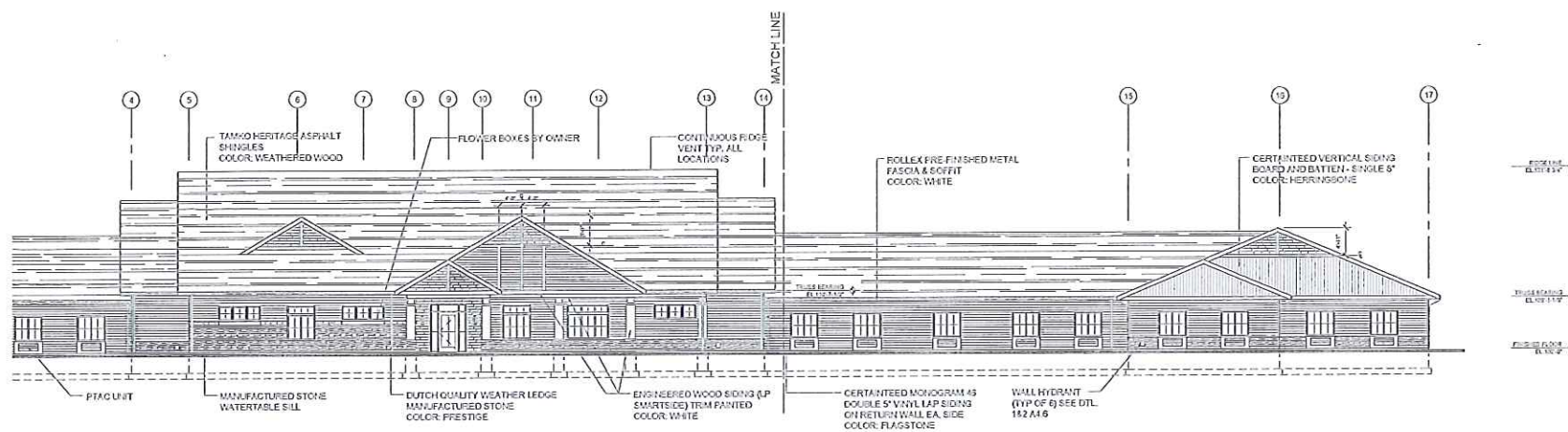
A3.0

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NOTE:  
 SUBMIT SAMPLES OF ALL EXTERIOR FINISHES/MATERIALS TO THE ARCHITECT FOR APPROVAL. PROVIDE SAMPLE PAINT COLORS ON THE BUILDING FOR ARCHITECT'S APPROVAL.



1 SOUTH ELEVATION - AREA 'A'  
 332' x 1-0'



2 SOUTH ELEVATION - AREA 'B'  
 332' x 1-0'



elliott architects  
5000 Wisconsin Ave., Suite 400  
Madison, WI 53706  
735.268.2233 735.268.2234

PROJ. NO. 10-208  
TENDER REFLECTIONS MEMORY CARE  
8-10-2015  
ARCHITECT  
ELLIOTT M. ANDERSON  
DRAWN BY  
M. ANDERSON

PROJECT NO. 10-208

TENDER  
REFLECTIONS  
MEMORY CARE

HWY 42 AND HWY 151  
MANTOWOC, WI



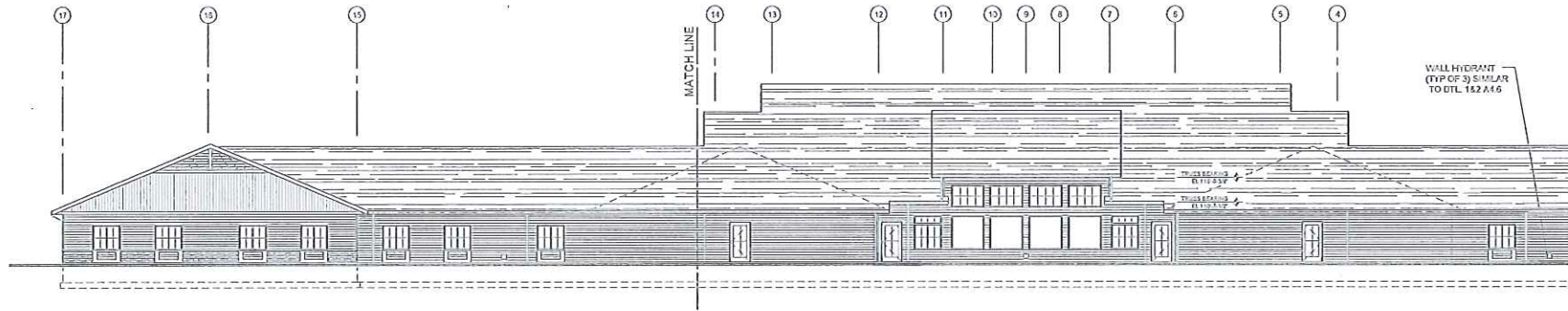
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DATE SUBMITTED 8-11-2015

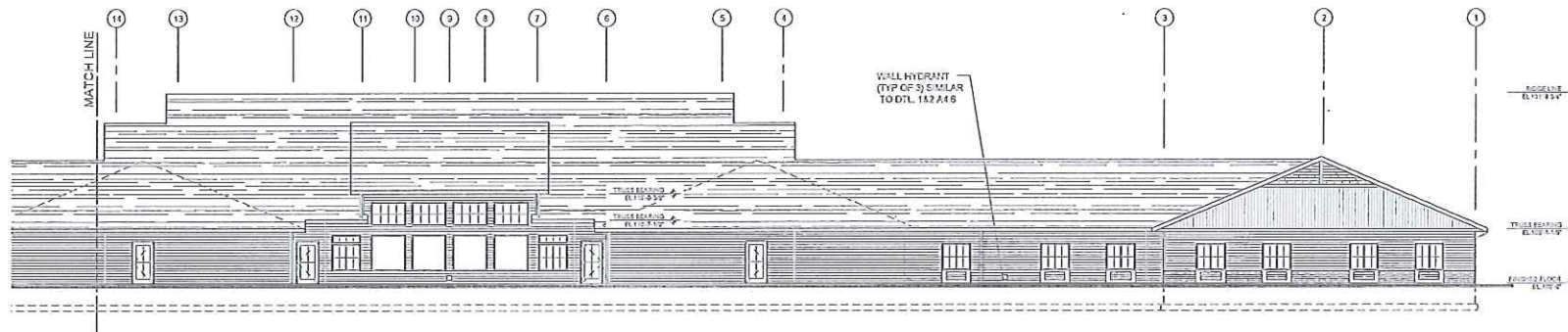
ELEVATIONS

A3.1

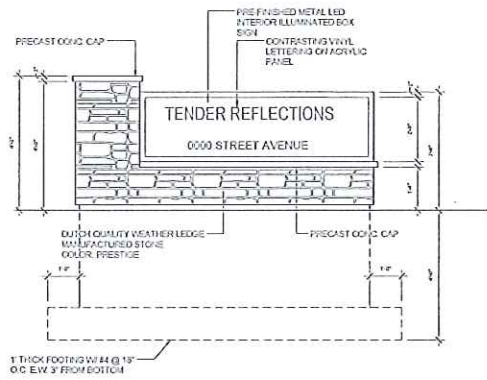
every day we build



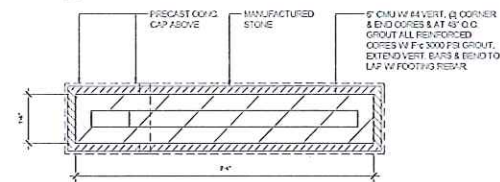
1 NORTH ELEVATION - AREA 'B'  
3/32" = 1'-0"



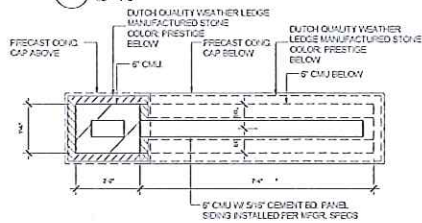
2 NORTH ELEVATION - AREA 'A'  
3/32" = 1'-0"



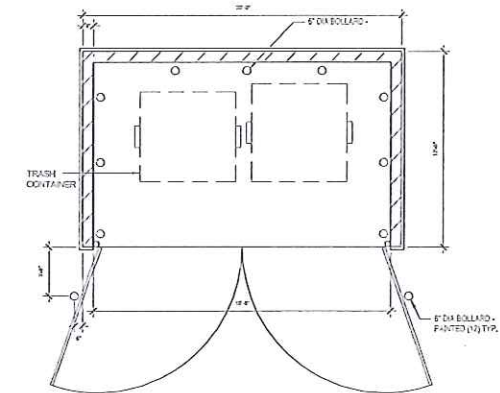
3 MONUMENT SIGN ELEVATION  
1/2" = 1'-0"



4 SECTION @ BASE  
1/2" = 1'-0"

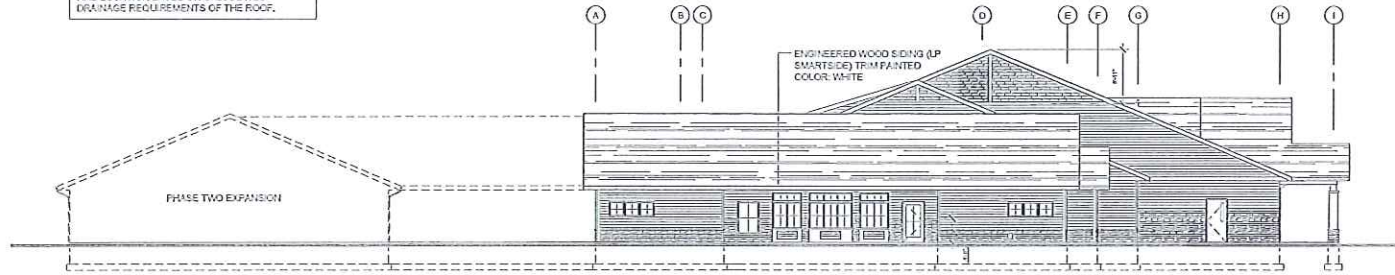


5 SECTION @ MIDDLE  
1/2" = 1'-0"

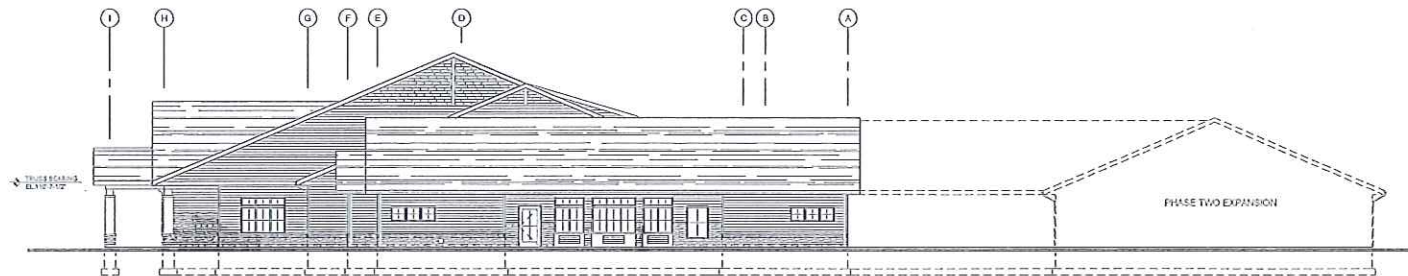


6 TRASH ENCLOSURE PLAN  
1/4" = 1'-0"

NOTE:  
GUTTERS AND DOWNSPOUTS ARE LOCATED ON ELEVATIONS TO CONVEY DESIGN INTENT. AS A DESIGN BUILD ELEMENT THE CONTRACTOR SUPPLYING AND INSTALLING THE GUTTERS SHALL BE RESPONSIBLE FOR SIZE, QUANTITY AND LOCATION BASED ON CALCULATED DRAINAGE REQUIREMENTS OF THE ROOF.



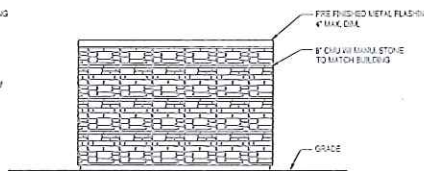
1 WEST ELEVATION - AREA 'A'  
3/32" = 1'-0"



2 EAST ELEVATION - AREA 'B'  
3/32" = 1'-0"



7 ELEVATION  
1/4" = 1'-0"



8 ELEVATION  
1/4" = 1'-0"



elliot architects  
1000 Lakeshore Drive, Suite 200  
Mantowoc, WI 53150  
P 920.833.4333 F 920.833.4334

PROJECT NO. 15-018  
DATE 8-10-2015  
DESIGNED BY Elliot M. Anderson  
DRAWN BY [Signature]  
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PROJECT NO. 15-018  
TENDER REFLECTIONS  
MEMORY CARE

HWY 42 AND HWY 151  
MANTOWOC, WI



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ELEVATIONS

A3.2

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