

TERM SHEET  
Howe Building Renovation  
702 York Street

*The terms and conditions described in this agreement are part of a related development agreement between the parties, each element of which is consideration for the other elements and an integral aspect of the proposed agreements (defined below). This Term Sheet does not constitute an offer or a legally binding obligation of any party, or any other party in interest, nor does it constitute an offer of securities. The transactions contemplated by the Term Sheet are subject to conditions to be set forth in a definitive agreement, including without limitation a development agreement and other supporting documentation. Until publicly disclosed by the parties, this Term Sheet is strictly confidential and may not be shared by any party without the prior written consent of all parties unless otherwise required by Wisconsin law.*

1. Property Description
  - a. Tax Parcel 000-165-010
  - b. 2019 Total Assessed Value: \$148,900
  
2. Potential Parties:
  - a. East Point Rentals LLC (Developer), and assigns controlled by Developer
  - b. City of Manitowoc (City)
  
3. Development Description:
  - a. Renovation of the property in accordance with the attached exterior plans submitted by the developer and the interior building permit plans showing four to five 1<sup>st</sup> floor retail/commercial spaces, 1<sup>st</sup> floor enclosed parking and storage spaces, and nine 2<sup>nd</sup> floor residential condos. Project to be completed by December 31, 2021.
  - b. The total project cost is \$2,841,360.
  - c. Projected assessed value is \$3,000,000
  - d. Developer will commit to leasing a minimum of 20 spaces for a minimum of 10 years at the applicable downtown parking space lease rate established by the City Council.
  
4. Development Timetable:
  - a. Construction start in July of 2020 with completion expected in spring/summer of 2021.
  
5. City Assistance (subject to all required approvals and documentation):
  - a. Tax Incremental Financing Grant
    - i. Up to \$362,172 in a pay-go cash grant based on a guaranteed assessed value increase of at least \$2,850,000 upon project stabilization.
    - ii. Uses of funds to include public or private utility or other infrastructure improvements, building construction, site preparation, architectural or engineering design fees, or other eligible building improvement related costs.
  - b. Tax Incremental Financing Project
    - i. Up to \$550,000 in off-site parking improvements to include:
      1. Acquisition by the City of parcel 000-165-091 and the easterly portion of parcel 000-165-090.
      2. Demolition of the building located at 714 York Street, and the storage building located east of 205 North 8<sup>th</sup> Street.

- 3. Construction of a new City owned parking lot with a minimum of 45 parking spaces.
  - c. Downtown Façade Grant
    - i. Up to \$50,000 cash grant based on \$25,000 per street façade.
    - ii. Uses of funds to include exterior renovations of the existing building.
- 6. Following City Council authorization of this term sheet, a development agreement consistent with the terms and conditions herein shall be executed by the Mayor and Clerk subject to technical, legal changes.

**City of Manitowoc**

**East Point Rentals, LLC**

\_\_\_\_\_  
Justin M. Nickels, Mayor

\_\_\_\_\_  
Mike Howe, Principal

\_\_\_\_\_  
Deborah Neuser, Clerk

\_\_\_\_\_  
Kurt Scherer, Principal

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date



# CITY OF MANITOWOC Tax Incremental Financing Application



### Property / Project Summary:

Overall Project Summary and Objectives: 702 York

Convert old Warehouse into A Retail, Commercial,

And Living space

### Property Summary:

Parcel/Land Area: 22,000 SF

Building Area: 38,000 SF

# of Dwelling Units: 15-16

# of Stories: 2

# of Parking Spaces: 11

Describe briefly what the project will do for the property and surrounding area including (if applicable) an estimate of full and part-time jobs to be created by the proposed project including estimated salaries:

Project will Bring Many New businesses to downtown

with condo living. Construction will probably have 30

Guys working there for 1 year, Based on leased space

by tenants will determine Job creation



# CITY OF MANITOWOC

## Tax Incremental Financing Application



**Applicant Information:**

Legal Name: East Point Rentals LLC

Mailing Address: P.O. Box 132

Primary Contact #: • Mike Howe Cell #: 920-242-3111

E-mail: MHoweBuilders@yahoo.com FAX #: \_\_\_\_\_

Attorney: Terry Fox

Legal Entity: Individual(s)\_\_\_\_ Joint Tenants\_\_\_\_ Tenants in Common\_\_\_\_  
 Corporation\_\_\_\_ LLC X Partnership\_\_\_\_  
 Other\_\_\_\_\_

If not a Wisconsin corporation/partnership/LLC, state where organized: WI

Will a new entity be created for ownership? Yes \_\_\_ No X

Principals of existing or proposed corporation/partnership/LLC and extent of ownership interest.

Name:	Address:	Title:	Interest:
<u>Mike Howe</u>	<u>828 Urbehn St.</u>	<u>Partner</u>	<u>50</u>
<u>Kurt Scherer</u>	<u>202 Tetum Ct.</u>	<u>Partner</u>	<u>50</u>
_____	_____	_____	_____

Is any owner, member, stockholder, partner, officer or director of any previously identified entities, or any member of the immediate family of any such person, an employee of the City of Manitowoc? Yes \_\_\_ No X

If yes, give the name and relationship of the employee: \_\_\_\_\_

\_\_\_\_\_

Have any of the applicants (including the principals of the corporation/partnership/LLC) ever been charged or convicted of a misdemeanor or felony? Yes \_\_\_ No X

If yes, please furnish details \_\_\_\_\_



# CITY OF MANITOWOC

## Tax Incremental Financing Application



### Project Budget / Financial Information:

#### Sources and Uses of Funds:

Identify the sources of funds used to finance the project. Typical sources include equity, lender financing, mezzanine financing, government financing, other anticipated types of public assistance, and any other types or methods of financing.

Uses of Funds:	Amount (\$)	(\$)	per SF of Building Area	38,000
Land Acquisition:	<u>325,000</u>	<u>\$</u>	<u>8</u>	
Demolition:	_____			
Environmental Remediation:	_____			
Site Clearance and Preparation:	_____			
Soft Costs/ Fees:	<u>25,892</u>		<u>.68</u>	
Soft Cost Contingency:	<u>5,000</u>		<u>.13</u>	
Hard Construction Costs:	<u>2,485,468<sup>00</sup></u>	<u>\$</u>	<u>65</u>	
Total Project Costs:	<u>2,841,360</u>	<u>\$</u>	<u>74</u>	

#### Sources of Funds:

% of total project costs

##### Equity

Developer Equity:	(\$) <u>275,000</u>	<u>10</u>	%
Other Equity: (_____)	(\$) _____		%
Total Equity:	(\$) <u>275,000</u>		%

##### Loans

Rate Term

Construction Financing:	(\$) <u>2,204,188<sup>00</sup></u>	<u>3.49</u> %	<u>12</u> mos.	
Permanent Financing:	(\$) <u>2,204,188<sup>00</sup></u>	<u>4.6</u> %	<u>5</u> yrs.	<u>77</u> %
TIF Assistance	(\$) <u>362,172</u>	_____ %		<u>13</u> %
Other: (_____)	(\$) _____	_____ %		_____ %
<b>Total Sources of Funds</b>	(\$) <u>2,566,360</u> + 275,000 = <u>2,841,360</u>			100%

#### Financing:

Source	Amount	Terms: Years/Interest	Contact Information
Equity:	_____	_____	_____
Loan 1:	<u>275,000</u>	_____	_____
Loan 2:	<u>2,204,188</u>	<u>4.6% 5 years</u>	_____
Loan 3:	_____	_____	_____
Loan 4:	_____	_____	_____



# CITY OF MANITOWOC

## Tax Incremental Financing Application



### Supplemental Information:

**Detailed Pro Forma** (must correspond to line items for Uses of Funds on previous page)

<b>Land Acquisition</b>	(\$)	<u>325,000</u>
<b>Demolition</b>	(\$)	<u>                    </u>
<b>Site Clearance and Preparation</b>		
Infrastructure	(\$)	<u>                    </u>
Utilities/removal	(\$)	<u>                    </u>
Utilities/relocation	(\$)	<u>                    </u>
Utilities/installation	(\$)	<u>                    </u>
Hazardous Materials Removal	(\$)	<u>                    </u>
Other( <u>                    </u> )	(\$)	<u>                    </u>

**Total Site Clearance and Preparation**

**Soft Costs/Fees**

Project Management ( <u>      </u> % )	(\$)	<u>0</u>
General Contractor ( <u>      </u> % )	(\$)	<u>                    </u>
Architect/Engineer ( <u>      </u> % )	(\$)	<u>6000</u>
Developer Fee ( <u>      </u> % )	(\$)	<u>0</u>
Appraisal	(\$)	<u>3000</u>
Soil Testing	(\$)	<u>0</u>
Market Study	(\$)	<u>0</u>
Legal/Accounting	(\$)	<u>6000</u>
Insurance	(\$)	<u>1800</u>
Title/Recording/Transfer	(\$)	<u>                    </u>
Building Permit	(\$)	<u>6000 ?</u>
Mortgage Fees	(\$)	<u>                    </u>
Construction Interest	(\$)	<u>                    </u>
Commissions	(\$)	<u>0</u>
Marketing	(\$)	<u>                    </u>
Real Estate Taxes	(\$)	<u>3092</u>
Other ( <u>                    </u> )	(\$)	<u>                    </u>

**Sub-total Soft Costs/Fees** (\$)                     

Soft Cost Contingency (\$) 5000



**CITY OF MANITOWOC**  
**Tax Incremental Financing Application**



**Agreement:**

I, by signing this application, agree to the following:

1. I have read and will abide by all the requirements of the City for Tax Incremental Financing.
2. The information submitted is correct.
3. I agree to pay all costs involved in the legal and fiscal review of this project. These costs may include, but not be limited to, bond counsel, outside legal assistance, and outside financial assistance, and all costs involved in the issuance of the bonds or loans to finance the project.
4. I understand that the City reserves the right to deny final approval, regardless of preliminary approval or the degree of construction completed before application for final approval.
5. The undersigned authorizes the City of Manitowoc to check credit references and verify financial and other information.
6. The undersigned also agrees to provide any additional information as may be requested by the City after filing of this application.

Applicant Name Mike Howe Date 6-25-2020

**Please return completed application to:**

City of Manitowoc  
Community Development Department  
900 Quay Street  
Manitowoc, WI 54220

**For questions regarding this application please contact:**

Adam Tegen  
Community Development Director  
(920) 686-6931  
ategen@manitowoc.org



# City of Manitowoc

## Tax Increment Financing District 19

### Cash Flow Proforma Analysis

702 York - Howe/Scherer

Requested subsidy = 362,172

Assumptions	
Annual Inflation During Life of TID.....	0.00%
Annual Deflation of Tax Rate During Life of TID.....	0.50%
2018 gross tax rate (per \$1000 equal. value).....	\$20.67
Amount of Bond Issue.....	\$ 362,172
Interest Rate on Bonds.....	
Expenditure Period Remaining	13

Example New Issue
<b>Amount of New Borrowing:</b>
<b>\$362,172</b>

Background Data						Revenues	Expenditures			TID Status			
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)	(J)	(K)	(L)	(M)	(N)
Val. Date	TIF District Valuation	Inflation Increment	Construction Increment	TIF Increment Over Base	Tax Rate	Tax Revenue	Principal	Interest	TID Incentive Pay-GO Total	Annual Balance	Year End Cumulative Balance	Remaining Principal Balance	Cost Recovery
<i>(January 1)</i>													
2019	\$0				\$20.67					\$0	\$0		
2020	\$0	\$0			\$20.57	\$0			\$0	\$0	\$0		
2021	\$0	\$0	\$2,850,000	\$2,850,000	\$20.46	\$0	\$27,859		\$27,859	(\$27,859)	(\$27,859)		
2022	\$2,850,000	\$0		\$2,850,000	\$20.36	\$0	\$27,859		\$27,859	(\$27,859)	(\$55,719)		
2023	\$2,850,000	\$0		\$2,850,000	\$20.26	\$58,032	\$27,859		\$27,859	\$30,172	(\$25,546)		
2024	\$2,850,000	\$0		\$2,850,000	\$20.16	\$57,742	\$27,859		\$27,859	\$29,882	\$4,336		Expenditures Recovered
2025	\$2,850,000	\$0		\$2,850,000	\$20.06	\$57,453	\$27,859		\$27,859	\$29,593	\$33,929		Expenditures Recovered
2026	\$2,850,000	\$0		\$2,850,000	\$19.96	\$57,166	\$27,859		\$27,859	\$29,306	\$63,235		Expenditures Recovered
2027	\$2,850,000	\$0		\$2,850,000	\$19.86	\$56,880	\$27,859		\$27,859	\$29,020	\$92,256		Expenditures Recovered
2028	\$2,850,000	\$0		\$2,850,000	\$19.76	\$56,595	\$27,859		\$27,859	\$28,736	\$120,992		Expenditures Recovered
2029	\$2,850,000	\$0		\$2,850,000	\$19.66	\$56,312	\$27,859		\$27,859	\$28,453	\$149,445		Expenditures Recovered
2030	\$2,850,000	\$0		\$2,850,000	\$19.56	\$56,031	\$27,859		\$27,859	\$28,171	\$177,616		Expenditures Recovered
2031	\$2,850,000	\$0		\$2,850,000	\$19.46	\$55,751	\$27,859		\$27,859	\$27,891	\$205,508		Expenditures Recovered
2032	\$2,850,000	\$0		\$2,850,000	\$19.37	\$55,472	\$27,859		\$27,859	\$27,613	\$233,120		Expenditures Recovered
2033	\$2,850,000	\$0		\$2,850,000	\$19.27	\$55,195	\$27,859		\$27,859	\$27,335	\$260,455		Expenditures Recovered
2034	\$2,850,000	\$0	\$0	\$2,850,000	\$19.17	\$54,919			\$0	\$54,919	\$315,374		Expenditures Recovered
2035	\$2,850,000	\$0	\$0	\$2,850,000	\$19.08	\$54,644			\$0	\$54,644	\$370,018		Expenditures Recovered
2036	\$2,850,000	\$0	\$0	\$2,850,000	\$18.98	\$54,371			\$0	\$54,371	\$424,389		Expenditures Recovered
2037	\$2,850,000	\$0	\$0	\$2,850,000	\$18.89	\$54,099			\$0	\$54,099	\$478,488		Expenditures Recovered
2038	\$2,850,000	\$0	\$0	\$2,850,000	\$18.79	\$53,828			\$0	\$53,828	\$532,316		Expenditures Recovered
2039	\$2,850,000	\$0	\$0	\$2,850,000	\$18.70	\$53,559			\$0	\$53,559	\$585,875		Expenditures Recovered
2040	\$2,850,000	\$0	\$0	\$2,850,000	\$18.61	\$53,291			\$0	\$53,291	\$639,167		Expenditures Recovered
2041	\$2,850,000	\$0	\$0	\$2,850,000	\$18.51	\$53,025				\$53,025	\$692,192		Expenditures Recovered
2042	\$2,850,000	\$0	\$0	\$2,850,000	\$18.42	\$52,760				\$52,760	\$744,952		Expenditures Recovered
2043	\$2,850,000	\$0	\$0	\$2,850,000	\$18.33	\$52,496				\$52,496	\$797,448		Expenditures Recovered
2044	\$2,850,000	\$0	\$0	\$2,850,000	\$18.24	\$52,234				\$52,234	\$849,681		Expenditures Recovered
2045	\$0	\$0	\$0	\$0	\$18.14	\$51,972				\$51,972	\$901,654		Expenditures Recovered
2046	\$0	\$0	\$0	\$0	\$18.05	\$51,713				\$51,713	\$953,367		Expenditures Recovered
2047	\$0	\$0	\$0	\$0	\$17.96	\$0				\$0	\$953,367		Expenditures Recovered
<b>\$0      \$2,850,000</b>						<b>\$1,315,539</b>	<b>\$ 362,172</b>	<b>\$ -</b>	<b>\$ 362,172</b>	<b>\$ 953,367</b>			

2017 TID Inception

2037 Final year to incur costs (inception + 20yrs)

2044 Maximum legal life of TID (27 Years) 3 year extension possible with plan amendment and/or one year extension for housing programs

WALL TYPE	DESIGN	DESCRIPTION
1		SEPARATION WALL 1 HOUR FIRE RATED PARTITION UL DES U305 2x4 or 2x6 STUDS @ 16" O.C. WITH BATT INSULATION TO CEILING. INSTALL 5/8" TYPE "C" GYP. BD. FULL HGT. EACH SIDE.
2		TYPICAL INTERIOR PARTITION WALL 2x4 STUDS @ 16" O.C. WITH BATT INSULATION VERIFY WORKERS TO CEILING. INSTALL 1/2" GYP. BD. FULL HGT. EA. SIDE TYP. (MROGS ON ALL SIDES OF WALLS EXPOSED TO BATH) (2x6 STUDS FOR PLUMBING WALLS)
3		TYPICAL EXTERIOR WALL HURRICANE TIES 2x6 STUDS @ 16" O.C. WITH 19 BATT INSULATION. INSTALL 1/2" GYP. BD. FULL HGT. INTERIOR SIDE OF WALL. 4 MIL VAPOR BARRIER. EXTERIOR: 4" BRICK VENEER. 1/4" AIR SPACE TYP. BUILDING WRAP ON 1/2" A.P.A. RATED O.S.B. SHEATHING ON STUDS (USE 2x4 STUDS AT EXT. GARAGE WALLS)
4		TYPICAL INTERIOR PARTITION WALL 5/8" SHEETROCK BRAND FIRECODE C CORE GYPSUM PANELS, 2x4 LAMB BEARING STAGGERED WOOD STUDS @ 16" O.C., 2x4 PLATE, 3/2" MINERAL WOOL BATT, 5/8" SHEETROCK BRAND FIRECODE C CORE GYPSUM PANELS, JOINTS FINISHED, PERIMETER CALKED-EST. FIRE RATING BASED ON UL DESIGN U305 AND UL DESIGN U310
5		TYPICAL INTERIOR PARTITION WALL 1/2" SHEETROCK BRAND FIRECODE C CORE GYPSUM PANEL, 1" NOM. WOOD SUB & FINISH FLOOR, 2x10, 2x12 WOOD JOIST (WOOD JOIST CHANNELS 18" O.C. SCREW OVER BASE LAYER BASE LAYER SCREW TO CHANNEL 12" O.C., JOINTS FINISHED UL DES. L510-2 HR SYSTEM WITH 5/8" FIRECODE C CORE UL DES. L511

WALL TYPES & LEGEND	
	1 HOUR FIRE RATED WALLS SEE DETAIL FOR CONSTRUCTION
	SMOKE DETECTOR PER INTERNATIONAL BUILDING CODE
	EXHAUST FAN TO SWITCH, TYP. ALL BATHS
	F-1 = 20 MIN. HOUR FIRE DOOR ASSEMBLY WITH SPRING CLOSER HINGES

GENERAL NOTES	
1.	ALL DIMENSIONS ARE TO STUD THICKNESS. OVERALL DIMENSIONS ARE TO OUTSIDE OF STUDS.
2.	CEILING DIMENSIONS TO BE HED CLEAR.
3.	INTERIOR DOORS TO BE LOCATED WITHIN 5'-7" OF CORNER TO ALLOW FOR TRIM, UDN
4.	MOISTURE RESISTANT GYP. BD. ON ALL WEI WALLS WHERE APPROPRIATE.
5.	INSULATE ALL PLUMBING WALLS - TYP.
6.	INSTALLATION OF ALL MECHANICAL EQUIPMENT SHALL COMPLY W/ IBC CHAPTER 4A.
7.	ALL PENETRATIONS THROUGH REQUIRED FIRE RESISTIVE ASSEMBLIES SHALL BE PROTECTED PER IBC 711 BY THE CONTRACTOR MAKING SAID PENETRATION.
8.	ALL JOINTS INSTALLED IN OR BETWEEN FIRE RESISTANT RATED WALLS, FLOOR OR FLOOR/CEILING ASSEMBLIES AND ROOFS OR ROOF CEILING ASSEMBLIES SHALL BE PROTECTED BY APPROVED FIRE RESISTANT JOINT SYSTEMS PER IBC 712. GENERAL CONTRACTOR TO SCHEDULE JOINT PROTECTION PRIOR TO INSTALLATION OF FINISHES.
9.	ALL HEATING EQUIPMENT SHALL BE DIRECT VENTING & SEALED COMBUSTION UNITS. UL N O.
10.	ALL OTHER ROOM FINISHES TO BE SUPERVISORS TO WATER.

GENERAL NOTES	
1.	CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES, & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS CONTRACT.
2.	HVAC, ELECTRICAL AND PLUMBING ARE TO BE DESIGN BUILD, COMPLYING W/ ALL LOCAL, STATE, & NATIONAL CODES, AND TO BE THE FULL RESPONSIBILITY OF THE CONTRACTOR. THE DESIGNER ASSUMES NO LIABILITY.
3.	ALL HEATING EQUIPMENT TO BE SEALED COMBUSTION TYPE & DIRECT VENTING.
4.	ALL MECHANICAL, HVAC, ELECTRICAL AND PLUMBING SYSTEMS & ALL EQUIPMENT TO BE MAINTAINED ACCORDING TO MANUFACTURERS STANDARDS. BUILDING OWNER AND/OR BUILDING OCCUPANTS ASSUME FULL RESPONSIBILITY FOR MAINTENANCE AND OPERATION.
5.	ALL MATERIALS, DETAILS, & INSTALLATIONS, SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS STANDARDS AND SPECIFICATIONS.
6.	ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LIMITING THE ACCUMULATION OF WASTE MATERIALS AND RUBBISH. WASTE MATERIALS SHALL BE REMOVED FROM THE PREMISES DAILY.
7.	DIMENSIONS ARE TO BE FIELD VERIFIED & ADJUSTED ACCORDINGLY. THE DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.
8.	ALL DIMENSIONS ARE FROM ACTUAL FINISHED SURFACES, UNON ON THE PLAN. ALLOWANCES SHALL BE MADE FOR FLOOR & WALL FINISHES.

GENERAL PLAN NOTES	
1.	4" THICK CONC. FLOOR W/ #10 @ 10, 6x6 W.W.M ON 8" COMPACTED GRANULAR FILL. SITE VERIFY FLOOR DRAIN PLACEMENT WITH OWNER PRIOR TO POURING FLOOR.
2.	WOOD STAIR W/ 7" MAX RISE WITH 11" TREADS MIN 1 1/2" DIA. HANDRAIL AT 36" HIGH ABOVE NOSING.
3.	4" THICK CONC. SLAB W/ #10 @ 10, 6x6 W.W.M ON 8" COMPACTED GRANULAR FILL. SITE VERIFY PLACEMENT WITH OWNER PRIOR TO POURING SLAB. PITCH OUT.
4.	PARTY WALL - SEE DETAIL FOR UNIT SEPARATION WALL
5.	AC UNIT - VERIFY ACTUAL PLACEMENT WITH OWNER PRIOR TO CONSTRUCTION
6.	TREATED WOOD DECK - WITH PLASTIC DECKING AND VINYL GUARDRAILS. VERIFY WITH OWNER. SEE STRUCTURAL FOR DETAILS AND CONSTRUCTION
7.	1HR FIRE BARRIER - SEE DETAIL FOR UNIT SEPARATION

KEYED NOTES	
1.	[THESE NOTES ARE SIMILAR FOR ALL UNITS]

WINDOW SCHEDULE			
WINDOW MARK	SIZE	SILL ELEVATION	REMARKS
1			EXISTING TO BE REPLACED - U-31
2	5'W X 5'H	TBD	SLIDER /DOUBLE PANE, TINTED, LOW-E

WOOD STAIR DETAIL	
	1 1/2" DIA. STEEL PIPE HANDRAIL 2x4 TREADS CUT TO DEPTH 3/4" PLYWOOD RISERS 2x12 STRINGERS AT 12" O.C.

REINFORCED AREAS FOR INSTALLATION OF GRAB BARS	
	LOCATION OF GRAB BAR REINFORCEMENT FOR WATER CLOSETS
	LOCATION OF GRAB BAR REINFORCEMENT FOR ADAPTABLE BATHROOMS

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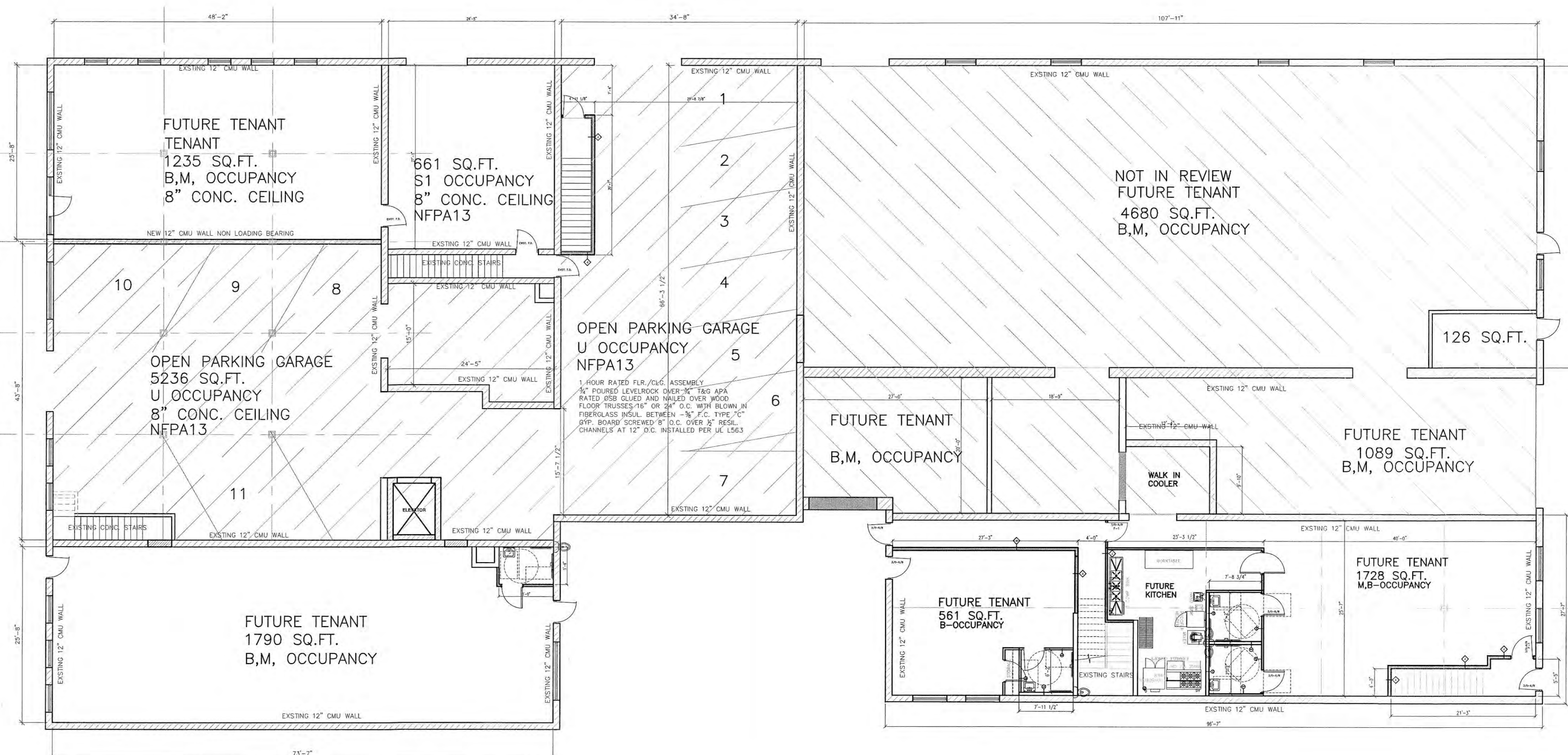
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	1 1/2" DIA. STEEL PIPE HANDRAIL 2x4 TREADS CUT TO DEPTH 3/4" PLYWOOD RISERS 2x12 STRINGERS AT 12" O.C.

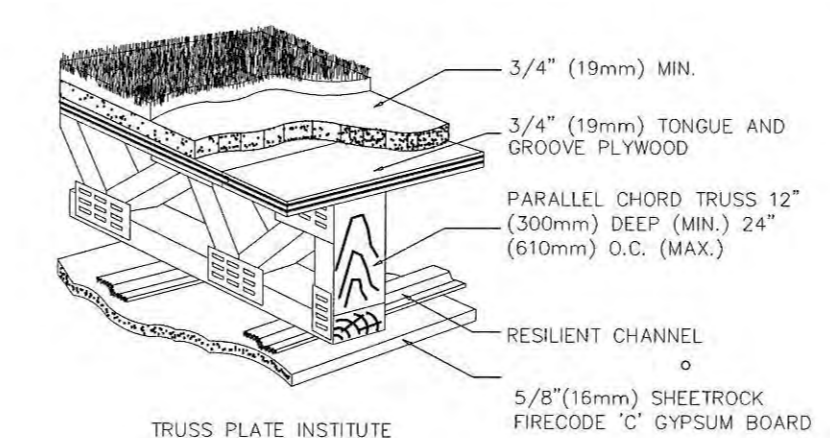
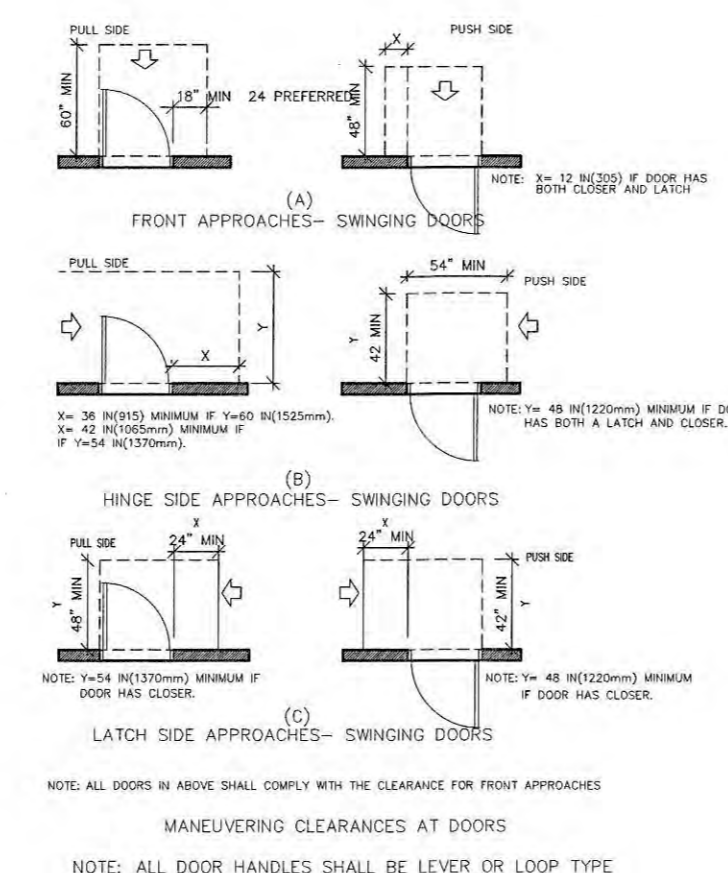
REINFORCED AREAS FOR INSTALLATION OF GRAB BARS	
	LOCATION OF GRAB BAR REINFORCEMENT FOR WATER CLOSETS
	LOCATION OF GRAB BAR REINFORCEMENT FOR ADAPTABLE BATHROOMS



1 First Floor Plan  
SCALE: 3/32" = 1'-0"

FLOOR PLAN NOTES:

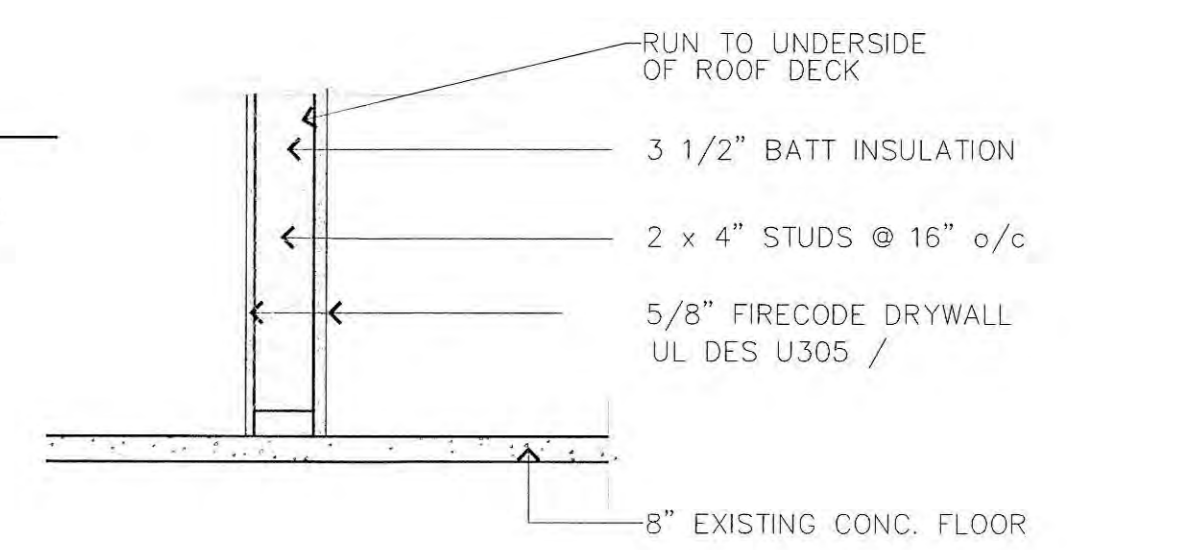
DIMENSIONS TO INTERIOR PARTITIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.



NOTES:

- STAIR HANDRAILS: ALL HANDRAILS TO WITHSTAND 200#(POUNDS) LOAD APPLIED IN ANY DIRECTION BRACKETS TO BE 32" O.C. - 6 TOTAL - PROVIDE 2X12 BLOCKING AT TOP AND BOTTOM STEP.
- BATHROOMS: ALL BATHROOMS ON FIRST FLOOR SHALL BE LAYED OUT AS SHOWN TO PROVIDE FOR HANDICAP ACCESS. PROVIDE A 48"x30" CLEAR AREA FOR PARALLEL APPROACH TO TUB AND VANITY.
- PROVIDE BLOCKING IN FIRST FLOOR BATHROOMS FOR FUTURE GRAB BARS. SEE DETAILS ON SHEET 6.
- DOORS: ALL FIRST FLOOR DOORS SHALL BE A MINIMUM OF 3'-0" TO PROVIDE A NOMINAL CLEAR OPENING OF 34".
- LUMBER FOR JOISTS, HEADERS, RAFTERS, AND OTHER STRUCTURAL FRAMING, SPF #1/#2 OR BETTER. ALL TOP PLATES FOR ROOF TRUSS BEARING TO BE SPF #1/#2 EXCEPT AT LOWER GARAGE ROOF GIRDER BEARING AND SECOND FLOOR BUMPOUT GIRDER BEARING S. YELLOW PINE ALL OTHER LUMBER - SPF STUD GRADE OR BETTER.
- ALL WALLS BETWEEN UNITS SHALL BE ONE HOUR FIRE RATED.
- HEADERS MADE UP OF MULTIPLE PLIES OF LUMBER SHALL BE FULL LENGTH CONTINUOUS BETWEEN POSTS. SPLICES OF PLIES BETWEEN POSTS ARE NOT PERMITTED.
- PROVIDE MINIMUM DOUBLE STUD POST AT EACH END OF ALL WINDOW HEADERS AND GIRDER TRUSS BEARING PROVIDE MIN. 3 STUD POSTS
- PROVIDE SOLID BLOCKING IN THE FIRST FLOOR TRUSS SPACE BETWEEN POSTS ON THE SECOND FLOOR AND POSTS ON THE FIRST FLOOR

4 1hr Partition Separation Wall Detail  
SCALE: 1/16" = 1'-0"



HANDICAP ACCESSIBILITY NOTE:

- ALL FIRST FLOOR UNITS TO BE ACCESSIBLE PER FEDERAL FAIR HOUSING ACT.
- MIN. DOOR SIZE IN EACH INDIVIDUAL UNIT 2'-10" WIDE
- MIN. DOOR SIZE IN COMMON AREAS 3'-0" WIDE
- MAX. HEIGHT 48"-FOR ALL SWITCHES &/OR CONTROLS OUTLETS NO LOWER THAN 15" FROM FLOOR
- PROVIDE BLOCKING AT ALL LOCATIONS REQUIRED FOR FUTURE GRAB BARS

NOTES: FIRE ALARM SYSTEM

- EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT AND A HORN LOCATED IN THE HALL BY THE BEDROOMS.
- ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
- SMOKE DETECTORS SHALL BE LOCATED IN HALL 6'-0" FROM BEDROOM DOOR AND IN EACH BEDROOM.
- SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT WITH EMERGENCY POWER BACKUP.

- 
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- 
- 

NOTE: ADA REQUIRED TYPE A UNITS SHALL TOTAL 1 UNIT WHEN ENTIRE DEVELOPMENT IS COMPLETE PER IBC TABLE 1107.6.1.1. SEE SHEETS A701 & A702 FOR TYPE "A" DETAILS & REQUIREMENTS.

NOTE: CHECK EVERY DETAIL HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.

REVISION	DATE	REVISION NO.

PROPOSED REMODEL FOR:  
HOWE DEVELOPMENT  
MANITOWOC, WISCONSIN  
BAY ARCHITECTS, L.L.C.

3049 RAMADA WAY STE. 125  
GREEN BAY, WI 54304  
PHONE: 920-337-9400

DATE	6.15.20
FILE	5
JOB NO.	205986

A-101

WALL TYPE	DESIGN	DESCRIPTION
1		SEPARATION WALL 1 HOUR FIRE RATED PARTITION U-31S 2x4 or 2x6 STUDS @ 16" O.C. WITH BATT INSULATION TO CEILING, INSTALL 5/8" TYPE 3X GYP. BD. FULL HGT. EACH SIDE
2		TYPICAL INTERIOR PARTITION WALL 2x4 STUDS @ 16" O.C. WITH BATT INSULATION (VERY W/ WIDER) TO CEILING, INSTALL 1/2" GYP. BD. FULL HGT. EA. SIDE TYP. (MIGR. ON ALL SIDES OF WALLS EXPOSED TO BATH) (2x6 STUDS FOR PLUMBING WALLS)
3		TYPICAL INTERIOR PARTITION WALL 2x6 STUDS @ 16" O.C. WITH BATT INSULATION TO CEILING, INSTALL 1/2" GYP. BOARD FULL HGT. EA. SIDE TYP. (MIGR. ON INT. SIDE OF BATH)
4		SEPARATION WALL 1 HOUR FIRE RATED BARRIER U-31S 2x4 or 2x6 STUDS @ 16" O.C. INSTALL 5/8" TYPE 3X GYP. BD. FULL HGT. EACH SIDE TO UNDERSIDE OF FLOOR, ROOF DECK
5		TYPICAL EXTERIOR WALL W/BRICK VENEER 2x6 STUDS @ 16" O.C. WITH 19 BATT INSULATION. INSTALL 1/2" GYP. BD. FULL HGT. INTERIOR SIDE OF WALL. 4 MIL. VAPOR BARRIER, EXTERIOR, 4 BRICK VENEER, 7/8" AIR SPACE TYPE BUILDING WRAP ON 1/2" A.P.A. RATED O.S.B. SHEATHING ON STUDS (USE 2x4 STUDS AT ED. GARAGE WALLS)
6		TYPICAL INTERIOR PARTITION WALL 5/8" SHEETROCK BRAND FIRECODE C CORE GYPSUM PANEL, 2x4 LOAD BEARING STAGGERED WOOD STUD @ 16" O.C., 2x4 PLATE, 3/2" MINERAL WOOL BATT, 5/8" SHEETROCK BRAND FIRECODE C CORE GYPSUM PANEL, JOINTS FINISHED, PERIMETER CAULKED-ET. FIRE RATING BASED ON UL DESIGN U30S AND UL DESIGN U30G
7		TYPICAL INTERIOR PARTITION WALL RESILIENT CEILING-2 LAYERS 5/8" FIRECODE C GYPSUM PANEL, 1" NOM. WOOD SUB & FINISH FLOOR, 2X10/2X12 WOOD JOIST 16" O.C., 1" CHANNEL 8" O.C. SCREW OVER BASE LAYER, BASE LAYER SCREW TO CHANNEL 12" O.C., JOINTS FINISHED UL DES. U30D-2 HR SYSTEM WITH 5/8" FIRECODE C CORE UL DES. U31

- CARBON MONOXIDE DETECTOR SHALL BE CONNECTED TO BUILDING POWER SUPPLY AND HAVE BATTERY BACKUP
- Ⓢ SMOKE DETECTOR PER INTERNATIONAL BUILDING CODE
  - Ⓣ EXHAUST FAN TO SWITCH, TYP. ALL BATHS
  - Ⓤ GARAGE DOOR OPENER- VERIFY WITH OWNER
  - F-1 = 20 MIN. HOUR FIRE DOOR ASSEMBLY WITH SPRING CLOSER HINGES

### WALL TYPES & LEGEND

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO STUD THICKNESS. OVERALL DIMENSIONS ARE TO OUTSIDE OF STUDS.
  - ALL DIMENSIONS TO BE HELD CLEAR.
  - INTERIOR DOORS TO BE LOCATED WITHIN 5'-7" OF CORNER TO ALLOW FOR TRIM, UDN
  - MOISTURE RESISTANT GYP. BD. ON ALL WET WALLS WHERE APPROPRIATE.
  - CREATE ALL FINISHING WALL-TYP.
  - INSTALLATION OF ALL MECHANICAL EQUIPMENT SHALL COMPLY W/ IBC CHAPTER 44.
  - ALL PENETRATIONS THROUGH REQUIRED FIRE-RESISTIVE ASSEMBLIES SHALL BE PROTECTED PER BC 711 BY THE CONTRACTOR MAKING SAID PENETRATION.
  - ALL JOINTS INSTALLED IN OR BETWEEN FIRE RESISTANT RATED WALLS, FLOOR OR FLOOR/CEILING ASSEMBLIES AND ROOF OR ROOF/CEILING ASSEMBLIES SHALL BE PROTECTED BY APPROVED FIRE RESISTANT JOINT SYSTEM PER BC 712. GENERAL CONTRACTOR TO SCHEDULE JOINT PROTECTION PRIOR TO INSTALLATION OF FINISHES.
  - ALL HEATING EQUIPMENT SHALL BE DIRECT VENTING & SEALED COMBUSTION UNITS, U.N.O.
  - ALL TOILET ROOM FINISHES TO BE IMPERVIOUS TO WATER.
- GENERAL PLAN NOTES:**
- CARE SHOULD BE TAKEN TO LEAVE EXISTING ITEMS UNDISTURBED AND STILL ACCOMMODATE WORK.
  - FINISHING AREAS TO BE PROTECTED DURING CONSTRUCTION.
  - COORDINATE W/ PLUMBING CONTRACTOR FOR ALL LEAD-SLAB PIPING PRIOR TO POURING SLAB.
  - COORDINATE ALL FLOOR FINISHES WITH PLANNED PLUMBING FIXTURES TO ENSURE DRAINS DO NOT HIT FRAMING MEMBERS, BOX OUT FRAMING WHERE NEEDED.

### GENERAL NOTES

- GENERAL PROJECT NOTES:**
- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES, & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS CONTRACT.
  - HVAC, ELECTRICAL AND PLUMBING ARE TO BE DESIGN BUILD, COMPLYING W/ ALL LOCAL, STATE, & NATIONAL CODES, AND TO BE THE FULL RESPONSIBILITY OF THE CONTRACTOR. THE DESIGNER ASSUMES NO LIABILITY.
  - ALL HEATING EQUIPMENT TO BE SEALED COMBUSTION TYPE & DIRECT VENTING
  - ALL MECHANICAL, HVAC, ELECTRICAL, AND PLUMBING SYSTEMS & ALL EQUIPMENT TO BE MAINTAINED ACCORDING TO MANUFACTURERS STANDARDS. BUILDING OWNER AND/OR BUILDING OCCUPANTS ASSUME FULL RESPONSIBILITY FOR MAINTENANCE AND OPERATION
  - ALL MATERIALS, DETAILS & INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS STANDARDS AND SPECIFICATIONS.
  - ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LIMITING THE ACCUMULATION OF WASTE MATERIALS AND RUBBISH. WASTE MATERIALS SHALL BE REMOVED FROM THE PREMISES DAILY.
  - DIMENSIONS ARE TO BE HELD VERIFIED & ADJUSTED ACCORDINGLY. THE DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.
  - ALL DIMENSIONS ARE FROM ACTUAL FINISHED SURFACES, UDN ON THE PLAN. ALLOWANCES SHALL BE MADE FOR FLOOR & WALL FINISHES.

### GENERAL PLAN NOTES

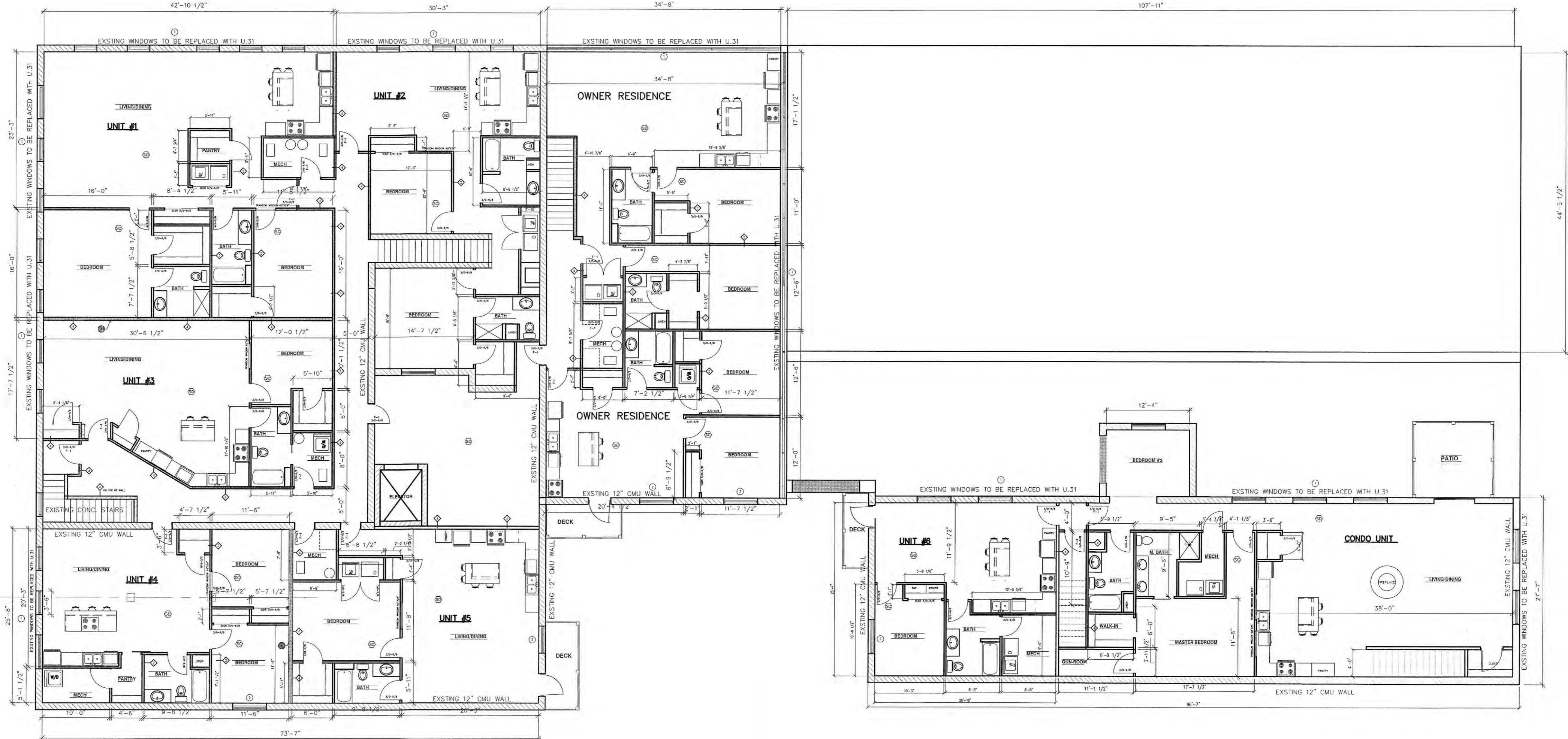
- 4" THICK CONC. FLOOR W/ #10 @ 10, 6x6 W.W.M ON 8" COMPACTED GRANULAR FILL SITE. VERIFY FLOOR DRAIN PLACEMENT WITH OWNER PRIOR TO POURING FLOOR.
- WOOD STAIR W/ 7" MAX RISE WITH 11" TREADS MIN 1 1/2" DIA. HANDRAIL AT 36" HIGH ABOVE NOSING.
- 4" THICK CONC. SLAB W/ #10 @ 10, 6x6 W.W.M ON 8" COMPACTED GRANULAR FILL SITE. VERIFY PLACEMENT WITH OWNER PRIOR TO POURING SLAB. PITCH OUT.
- PARTY WALL- SEE DETAIL FOR UNIT SEPARATION WALL
- AC UNIT- VERIFY ACTUAL PLACEMENT WITH OWNER PRIOR TO CONSTRUCTION
- TREATED WOOD DECK- WITH PLASTIC DECKING AND VINYL GUARDRAILS. VERIFY WITH OWNER. SEE STRUCTURAL FOR DETAILS AND CONSTRUCTION
- 1HR FIRE BARRIER- SEE DETAIL FOR UNIT SEPARATION

### KEYED NOTES

- (THESE NOTES ARE SIMILAR FOR ALL UNITS)

### WINDOW SCHEDULE

WINDOW MARK	SIZE	SILL ELEVATION	REMARKS
1	5'W x 5'H	TBD	EXISTING TO BE REPLACED - U-31- SLIDER /DOUBLE PANE, TINTED, LOW-E
-	-	-	-

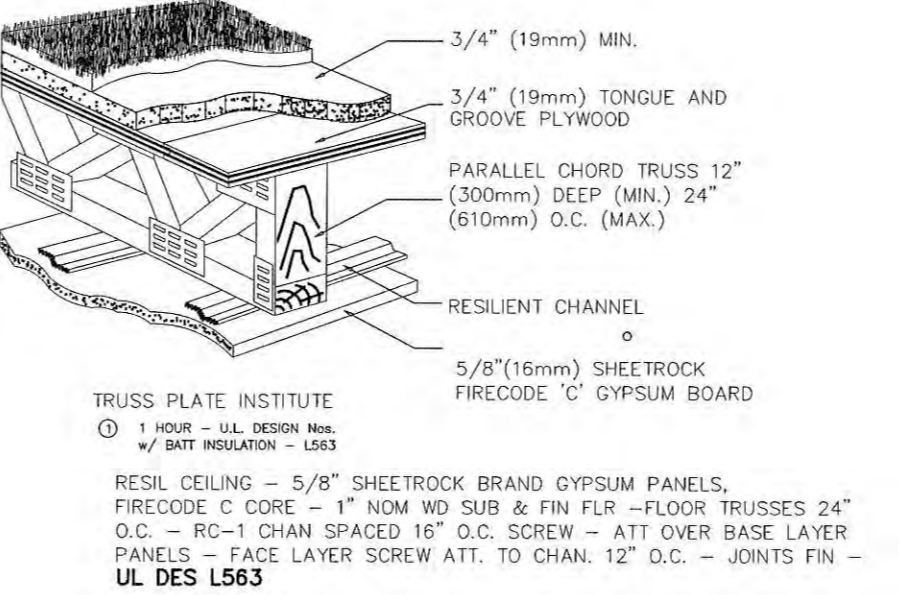
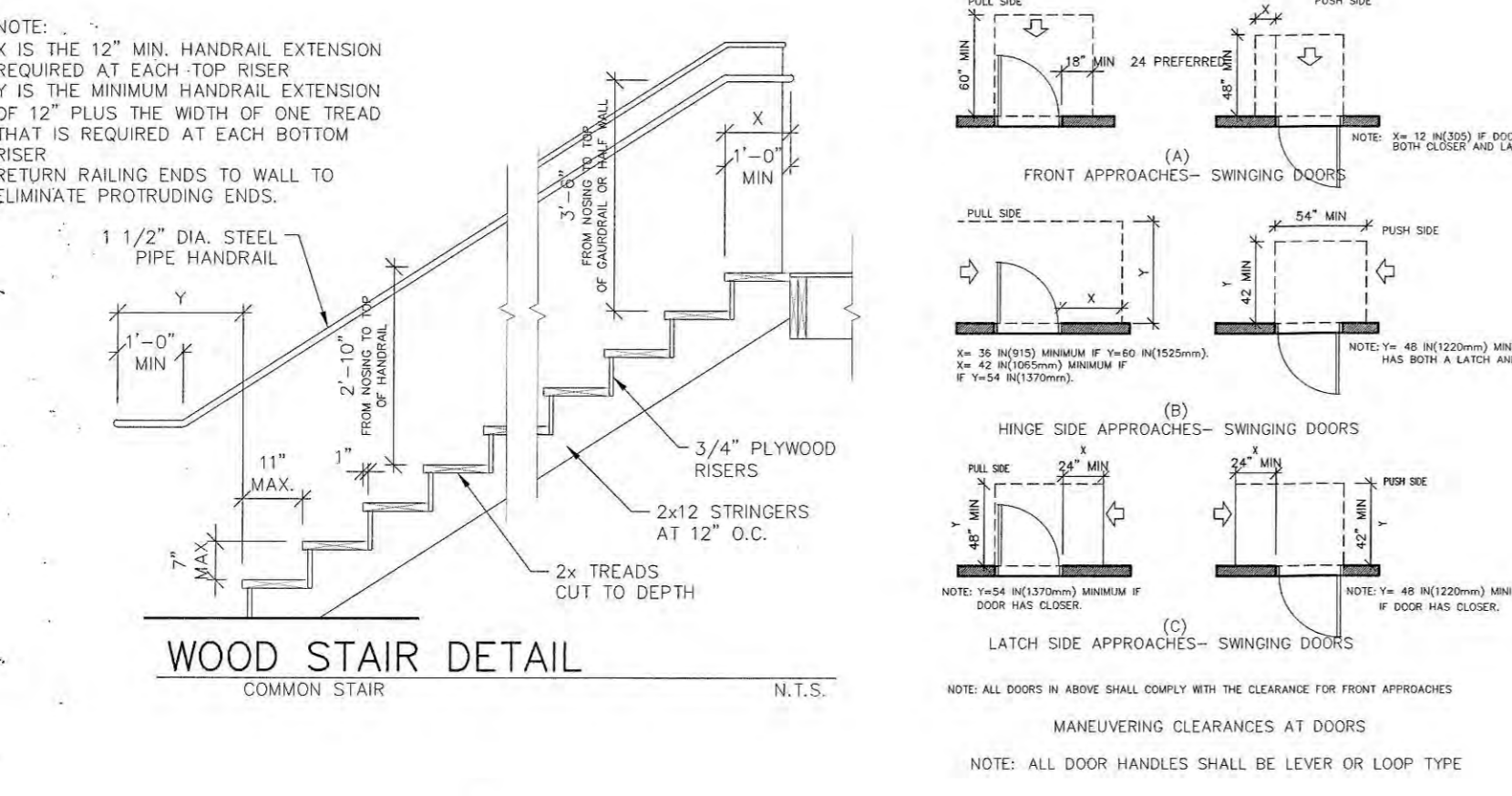


## 2 Second Floor Plan

SCALE: 3/32" = 1'-0"

### FLOOR PLAN NOTES:

DIMENSIONS TO INTERIOR PARTITIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.



### NOTES:

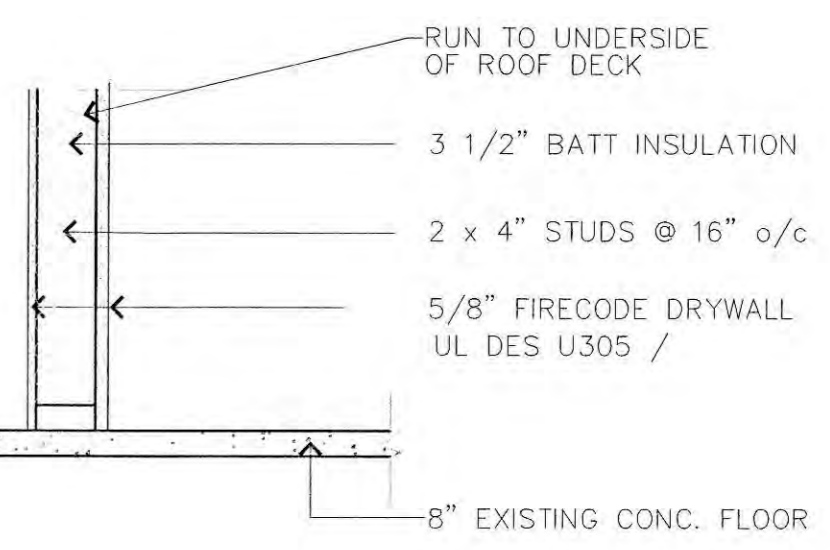
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- BATHROOMS: ALL BATHROOMS ON FIRST FLOOR SHALL BE LAYED OUT AS SHOWN TO PROVIDE FOR HANDICAP ACCESS. PROVIDE A 48"x30" CLEAR AREA FOR PARALLEL APPROACH TO TUB AND VANITY.
- PROVIDE BLOCKING IN FIRST FLOOR BATHROOMS FOR FUTURE GRAB BARS. SEE DETAILS ON SHEET 6.
- DOORS: ALL FIRST FLOOR DOORS SHALL BE A MINIMUM OF 3'-0" TO PROVIDE A NOMINAL CLEAR OPENING OF 34".
- LUMBER FOR JOISTS, HEADERS, RAFTERS, AND OTHER STRUCTURAL FRAMING, SPF #1/#2 OR BETTER. ALL TOP PLATES FOR ROOF TRUSS BEARING TO BE SPF #1/#2 EXCEPT AT LOWER GARAGE ROOF GIRDER BEARING AND SECOND FLOOR BUMPOUT GIRDER BEARING S. YELLOW PINE ALL OTHER LUMBER - SPF STUD GRADE OR BETTER.
- ALL WALLS BETWEEN UNITS SHALL BE ONE HOUR FIRE RATED.
- HEADERS MADE UP OF MULTIPLE PILES OF LUMBER SHALL BE FULL LENGTH CONTINUOUS BETWEEN POSTS. SPLICES OF PILES BETWEEN POSTS ARE NOT PERMITTED.
- PROVIDE MINIMUM DOUBLE STUD POST AT EACH END OF ALL WINDOW HEADERS AND GIRDER TRUSS BEARING PROVIDE MIN. 3 STUD POSTS
- PROVIDE SOLID BLOCKING IN THE FIRST FLOOR TRUSS SPACE BETWEEN POSTS ON THE SECOND FLOOR AND POSTS ON THE FIRST FLOOR

### HANDICAP ACCESSIBILITY NOTE:

- ALL FIRST FLOOR UNITS TO BE ACCESSIBLE PER FEDERAL FAIR HOUSING ACT.
- MIN. DOOR SIZE IN EACH INDIVIDUAL UNIT 2'-10" WIDE
- MIN. DOOR SIZE IN COMMON AREAS 3'-0" WIDE
- MAX. HEIGHT 48"-FOR ALL SWITCHES &/OR CONTROLS OUTLETS NO LOWER THAN 15" FROM FLOOR
- PROVIDE BLOCKING AT ALL LOCATIONS REQUIRED FOR FUTURE GRAB BARS

## 4 1hr Partition Separation Wall Detail

SCALE: 1/1" = 1'-0"



### NOTES: FIRE ALARM SYSTEM

- EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT AND A HORN LOCATED IN THE HALL BY THE BEDROOMS.
- ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
- SMOKE DETECTORS SHALL BE LOCATED IN HALL 6"-0" FROM BEDROOM DOOR AND IN EACH BEDROOM.
- SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT WITH EMERGENCY POWER BACKUP.

- Ⓢ SMOKE ALARM
- Ⓣ FIRE ALARM HORN
- Ⓤ FIRE ALARM PULL STATION
- ⓈⓉ COMBO SMOKE/CARBON MONOXIDE DETECTOR

NOTE: ADA REQUIRED TYPE A UNITS SHALL TOTAL 1 UNIT WHEN ENTIRE DEVELOPMENT IS COMPLETE PER IBC TABLE 1107.6.1.1. SEE SHEETS A701 & A702 FOR TYPE "A" DETAILS & REQUIREMENTS.

PROPOSED REMODEL FOR:  
**HOWE DEVELOPMENT**  
 MANITOWOC, WISCONSIN  
**BAY ARCHITECTS, I L C**  
 1040 RAMADA WAY STE. 125  
 GREEN BAY, WI 54304  
 PHONE: 920-337-9400

DATE 6.15.20  
 FILE 5  
 JOB NO. 205986

A-102

NOTES: ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS & DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.



RYAN

7212-M

BUFFALO ST.

CHEWY'S

FORMER  
RED CROSS  
BLDG

5

3?

14

15

RYAN'S  
ON  
YORK

4

N. 8TH

YORK

48 Spaces +/-

